

SPRUCE MEADOWS
HOMEOWNERS ASSOCIATION, INC.
(Relating to Lots 1-73, Spruce Meadows Subdivision Filing No. 1)

DESIGN GUIDELINES

RULES AND REGULATIONS

Spruce Meadows Homeowners Association, Inc.
Attention: Design Review Committee
2415 Spruce Meadows Drive
Broomfield, CO 80023

SPRUCE MEADOWS DESIGN GUIDELINES

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SPRUCE MEADOWS HOMEOWNERS ASSOCIATION DESIGN GUIDELINES - RULES AND REGULATIONS

(Relating to Lots 1-73, Spruce Meadows Filing No. 1, Broomfield, Colorado)

DESIGN GUIDELINES INTRODUCTION

Spruce Meadows is a community with a rich family history that aspires to maintain a sense of its rural character while establishing a cohesive community among its custom home residents. With acreage home sites, equestrian opportunities, vistas of the front range and convenience to services, employment and major transportation corridors, residents of Spruce Meadows should benefit from the best of Colorado living. Strong architectural standards, comprehensive landscaping and fencing guidelines and covenants help ensure that the vision established for Spruce Meadows is achieved as the community matures.

In an effort to assure owners and residents of Spruce Meadows that this vision is realized, the Design Review Committee has established the following Design Guidelines. These Design Guidelines are supplemental to, and do not in any way alter, the provisions and requirements contained in other official documents pertaining to Spruce Meadows, such as, zoning ordinances, recorded plats and amended plats, Articles of Incorporation, Bylaws, and Declarations of Covenants, Conditions and Restrictions. Copies of these documents will be furnished to each builder and will be made available to each homeowner upon request if not supplied by their builder or the title company as part of their title documents.

Intent of Design Guidelines

The intent of the Design Guidelines is to integrate land plan, architectural and landscape design to create lasting value for the Spruce Meadows community and its residents. These Design Guidelines will help home builders, architects and homeowners develop appropriate site and architectural plans for Design Review Committee (DRC) submittal and are not intended to be an exclusive architectural list. This document is subject to amendment and revision by the Declarant in its sole discretion until all units to be erected are sold. Thereafter, this document is subject to amendment and revision in its sole discretion by the Spruce Meadows Design Review Committee.

Approval from the Design Review Committee is required, prior to any construction on, or improvement to, Lots or property within Spruce Meadows. No building, fence, patio, deck, planting, landscaping or other structure, whether permanent or temporary, shall be erected, placed or altered on any Lot until the construction plans and specifications have been pre-approved by the Spruce Meadows Design Review Committee as to the structure to be built, materials used, harmony of external design and color with existing structures, topographical location, finished grade elevation and aesthetic relationship with other existing improvements. The Spruce Meadows Design Review Committee shall have the exclusive right to refuse approval, of any plans, specifications or designs that are not suitable or desirable for this development based upon the intent of these guidelines and the Design Review Committee's interpretation of that intent. All plans and specifications, including all architectural plans for the main residence, any accessory structure, landscape plans, or future exterior improvements are to be approved in writing by the Spruce Meadows Design Review Committee. Final approved plans and specifications, not including color boards, shall be maintained by the Spruce Meadows

Design Review Committee for a period of five years.

Once the DRC has approved a plan, any changes made to the approved plan, including any field changes to approved setbacks, foundation heights, or additions affecting the external appearance or location of that structure or Lot are subject to the Declaration requirements and these guidelines and must be approved by the Spruce Meadows Design Review Committee prior to installation.

Other Conditions

Approval of plans by the Design Review Committee shall not be deemed to constitute compliance with the requirements of any federal, state or local requirements including local building, zoning, safety, health, storm water or fire codes. It will be the responsibility of the owner or other person submitting plans to assure such compliance. Nor shall approval waive any requirements on the part of the owner or his/her agent to comply with setbacks, height restrictions, or requirements unless such waiver or variance is specifically requested at the time of submittal and provided that the waiver or variance may properly be granted by the Design Review Committee and conforms with applicable zoning and building requirements.

ARCHITECTURAL DESIGN ELEMENTS

These guidelines have been established to balance individual architectural diversity with the overall character and compatibility of improvements within Spruce Meadows. Specific architectural styles have not been detailed in order to ensure that each home has individual design quality and integrity. However, each architectural design will be considered relative to how it fits within the natural environment and community as a whole.

Design Philosophy and Diversity of Architectural Styles

Spruce Meadows is a community that allows for diversity of expression that characterizes a custom community. Homes should be designed utilizing the characteristics of the individual lot it is designed for including mountain views, grade, set backs, orientation, and relationship to neighboring homes. Repetition of floor plans may be allowed only if the exterior elevations are not duplicated and only at the sole discretion of the Design Review Committee. Domes, hyperbolic paraboloids, mansard roofs, and flat roofs will not be permitted unless an overwhelming design justification is specifically approved by the Design Review Committee. Where a home is especially visible from a street or other public area of the community, four-sided architecture with greater architectural detailing will be required including plane changes, roof elevations, and variety of exterior materials that may exceed the general minimum requirements established within these guidelines. It is the desire of the DRC that builders, architects and homeowners will set a new standard for architectural detail and integrity on individual home designs while remaining sensitive to both the natural environment and the created environment of the Spruce Meadows community.

Building Massing

It is the intent of these guidelines to encourage design solutions that reduce the visual mass and

develop proportions and details appropriate in scale to the site. Multiple rooflines and the softening of elevations through multiple face planes are required. The relationship of buildings to one another and the street is especially important at corners. Buildings on corner lots should address both streets. Enhanced side and rear elevations are desired for corner lots in order to achieve a more welcoming sense for pedestrians and street traffic.

Building Size and Height

No residence will be less than 3,000 square feet for a one story dwelling (not including the garage or basement level), or less than 3,400 square feet for a dwelling of more than one story. On any dwelling that is more than one story, the minimum square footage of the main floor will be 2,000 square feet. The maximum building height limit will be 35 feet per Adams County standards and as established by Spruce Meadows Annexation Agreement into the City and County of Broomfield. Compliance with these regulations is required. The maximum structure coverage on a lot may not exceed 12.5% of the lot area for both the residence and any accessory buildings per City of Broomfield code requirements.

However, due to the national economic downturn since 2008, there has been a general trend for smaller homes. Due to direct oil and gas or other impacts on smaller lots and to allow those who want to live in the Spruce Meadows community yet desire a smaller home, the DRC, in its sole discretion, shall have the flexibility and authority to grant a variance to allow for homes with slightly less than the above minimum square footage requirements on lots less than 1.5 acres, more specifically on Lots 1-3 Replat B, Lots 1-3 Replat C, Lot 14, and Lot 36 as follows: a 10% total square footage reduction for either a ranch or a 2-story home will be permitted. For example, a 10% square footage reduction to the minimum 3,000 square foot ranch style home would be a reduction of 300 sq. ft. or a main floor minimum size of 2,700 for a ranch style home; a 10% square footage reduction to the minimum 3,400 square foot 2-story style home would be a reduction of 340 sq. feet or a minimum total size of 3,060 square feet for a 2-story home. The square foot reduction shall be applied to the first or second floor living space areas and shall be exclusive of garage or basement areas. Additionally, the minimum footprint for a 2-story home utilizing the square foot reduction would be 1,800 square feet. The variance shall only apply to the square footage requirements and not to exterior design elements or other design requirements.

Roofs

Variable plate heights, fascia levels and roof forms which are consistent with the architectural style of the home must be incorporated in the roof design. Large unbroken expanses of single pitch roof are unacceptable. A simple main roof mass should be used in conjunction with complimentary minor roof forms and elements such as dormers, gable ends and eyebrows. These minor roof elements should be proportional to the spaces they cover as well as the overall roof form. Gable and hip roof forms are encouraged. Flat and mansard roofs will not be approved. Internal volumes within the building should be expressed by changes in roof planes.

Roof pitches must be between 5/12 and 12/12, unless otherwise approved by the Design Review Committee, based on an overwhelming design justification. Ridge vents will be required.

Acceptable roof materials shall consist of pre-patina or non-reflective metal; concrete tiles; slate

or vitreous clay tile. All roof materials and color require approval by the Design Review Committee. **Asphalt shingles, cedar shingles or shake shingles are not acceptable.**

Exterior Elevations

Plans should be designed to look attractive from all four sides. Decorative elements (masonry veneer, shutters, dormer windows, bay windows, recessed windows, etc.) should not be limited to the front facade only. More than one exterior material type is encouraged on two-story plans and is required on two story elevations with a garden level or walk-out basement (i.e. stone and stucco) to provide relief to the rear three story elevation.

Trim

Trim will be included around the perimeter of all doors and windows on all four sides in a manner appropriate to the architectural style of the building, unless replaced by masonry. Trim color will be important criteria to consider and must be approved by the DRC.

Fireplaces

Fireplaces and the full height of their chimneys, if any, must be fully enclosed with compatible materials. The chimney should relate in form and material to the primary structure. Fireplace, furnace and stove flues should be consolidated and fully enclosed within the chimney. All exposed metal flues or pipes shall be enclosed by the chimney cap. All other roof projections shall be painted to match the roof.

Fireplace projections must not dominate the front fascia of the home. Exterior fireplaces and fire pits designed as part of a deck, patio or outdoor living area, are also subject to approval through the Design Review Process.

Exterior Materials

Details are to be incorporated throughout a structure in order to create a variety of light and shadow at all scales. While the building mass should express simple forms, the use of various material textures is encouraged to add interest and character to the building's identity. Attention should be paid to the home's architectural style and its specific details in terms of columns, brackets, corners, eaves, railings, doors, and trim.

- Wood Siding shall be restricted to natural wood boards or shingles; stained or painted.
- Hardboard siding shall be pre-finished or painted.
- Stone, brick or stucco are masonry types approved by the Design Review Committee.

All homes will include brick, stone, or stucco at the front elevations and a portion of each side (wrapped around the corners). More than one material type is encouraged and is required on two story homes with walk-out or garden level basements. Additional architectural detailing will be required on solid stucco or other solid masonry homes to provide relief or visual breaks from the masonry material.

The following minimum percentages of masonry will apply:

- Front elevation - 50% masonry (excluding roofs, fascias, garage doors, windows, and doors). The only exceptions will be to maintain the architectural integrity of home designs whose architecture does not typically include masonry, i.e. farmhouse style

architecture. In such cases, wrap around porches and other elements will be required in place of masonry to create greater dimension in the exterior elevation. An overwhelming design justification will be required to consider such an exception.

- Side and/or rear elevation (where abut a street) - 25% masonry (excluding roofs, fascias, windows, and doors).

The rear and side elevations of any home will be required to include brick, stone or stucco (in the above minimum percentages) only when facing a public street or backing to a public element. However, the Design Review Committee encourages the use of masonry on the home as a unifying element on all four elevations of the home. Minimum percentages may not be appropriate to achieve this result and the DRC has the authority to require more if necessary in their findings.

When using masonry, it is desired that foundation concrete not remain exposed. When using siding, foundations should not have more than 8" of exposed concrete visible on any elevation. The Design Review Committee may determine that some exposed foundations may need to be painted to match the structure. Window frames will be painted wood, natural wood, anodized painted aluminum or vinyl or as determined by the Design Review Committee.

Colors

The skillful use of color variation is especially important, as it can complement a building's architecture as well as contribute to the overall variety of the neighborhood. Monotonous color palettes and high-gloss paints are strongly discouraged. Variety in color schemes should be used to create visual interest. Bright color hues should be used sparingly as accents, and should be appropriate to the building's architectural style. Accent colors on doors, window frames, fascias, soffits and trims, used judiciously and with restraint, are encouraged. Deep earth toned color palettes that are appropriate to the landscape are suggested. Home and outbuilding colors will be considered in relation to surrounding home colors and their context within the natural environment.

All projections including, but not limited to, chimney flues, vents, gutters, downspouts, utility boxes, porches, railings, decks and exterior stairways will match or be compatible in color with the surface from which they project unless otherwise approved. **All exterior colors must be approved by the DRC prior to construction.**

Decks, Gazebos, Porches and Patios

Decks and gazebos may be constructed of wood, composites, or other material compatible with the residence or as approved by the Design Review Committee. Decks, gazebos and porches must be painted or stained to be compatible with the primary or secondary color of the residence.

Any deck or stair accessing deck that exceeds 4 ft. in height will be supported by posts with a minimum dimension of 8" X 8" and those over 7 ft. in height will be supported by posts built up to a minimum 16" x 16" and will be covered by a masonry material consistent with the exterior material used in the construction of the home. Larger columns may be required based on the

material or architectural style. Walk-out columns will be required to be wrapped in a masonry material.

Front porches and front courtyards are encouraged.

Committee approval is required on design, color and location of Decks, Gazebos, Porches and Patios. Plans must show the exterior elevations, designate materials and colors, exterior light locations, and include dimensions, at a scale of 1/4" = 1'.

Setbacks

Setbacks must comply with the minimum established by Adams County for R-E in accordance with the Annexation Agreement as well as setbacks determined by the Design Review Committee on a lot-by-lot basis. Homes and Accessory Buildings may be required to be staked on the lot through the Design Review Process. Refer to the Building Envelopes Exhibit A for individual lot setback requirements.

Minimum setbacks are as follows:

- Front - 50' from back of ditch R-O-W (unless otherwise approved by DRC per individual lot requirements).
- Side - 20' (on a corner lot setback is 30' from local street or 50' from arterial street).
- Rear - 20' (30' on lots that back to other lots).

In addition to the minimum front setback of 50', the Design Review Committee may determine that adjacent homes fronting on the same street may be required to vary forward or backward from the adjacent home front setback. This setback requirement will occur in a random manner so the desired streetscape does not become repetitive. The setback will be measured from the back of the right-of-way line (property line) to the nearest part of the building. The DRC may determine that larger setbacks from the minimum are necessary.

Building Siting and Drainage

Each building site has its own specific qualities and characteristics. It is important that each structure on the lot be sited to consider how best to increase the aesthetic value for the individual homeowner and for the community as a whole. Homes and accessory buildings will be sited to complement existing or planned homes on adjacent sites and to protect view corridors for adjacent sites. The DRC may require the staking of lot corners at proposed elevations prior to DRC approval and reserves the right to request setback and/or height elevation changes as part of the architectural approval process. Any proposed exterior changes after DRC approval must be resubmitted to DRC for re-review and approval prior to construction. An additional fee may apply depending upon amount of changes.

Exterior grading will be adequate for drainage away from the house and adjacent homes and shall also comply with City of Broomfield building permit requirements. A minimum of 1-foot slope in the first ten feet from the home is strongly recommended. A drainage plan showing existing and proposed drainage contours at a scale of not less than 1:20 will be required with the initial submittal. Proposed contours must coincide with existing overlotted contours at property lines. It is especially important that any altered drainage patterns not cause soil erosion on adjacent

properties. No grading will extend beyond lot lines.

Garages

Garage designs will be an important consideration in the design review process. Attached garages must be designed as an integral part of the home. Detached garages must be architecturally compatible with the home design and meet other Accessory Building Requirements as outlined in these guidelines. In no case may a garage be larger than the living area of the home or appear to be more prominent than other elements of the home. Garages are required to have a minimum three car capacity. Side and rear load garages are recommended. A combination of front and side load garages may be permissible where the front load portion is significantly recessed from the front door of the home and where it is not larger than two car bays. Garages situated at a 45% angle from the front door will be reviewed on a case-by-case basis. Garage doors should incorporate architectural detailing compatible with the home's design. Metal garage doors are discouraged. Any oversized garage doors designed to accommodate RV, horse trailer, boat or other recreational storage are required to be hidden from view of the street and minimized from view to adjacent homeowners whenever possible. Enhanced garage doors will be required on garages that have high street visibility.

Order and Progress of Construction

The first improvement to be constructed upon each lot will be the primary residence. Construction of the primary residence and garage shall be completed within 12 months from the start of construction unless construction is delayed unavoidably due to acts of GOD, labor strikes or other calamity. No dwelling shall be occupied prior to the completion of all construction and issuance of a certificate of occupancy by the City and County of Broomfield. No temporary living quarters will be allowed on the lot during the construction period.

SITE DESIGN ELEMENTS

The site design of each lot is an important element in meeting the intent of the design guidelines to create a community that will have long term aesthetic appeal for individual homeowners and for the entire community. Specific attention shall be paid to preserving view corridors for each lot and assessing how structures and landscaping on one lot may affect view corridors for neighboring lots. Pre-determined building envelopes may have been created to aid with setback requirements. See Exhibit A for any individual lot building envelopes. Staking of homes and accessory buildings may be required as part of the Design Review Process.

Septic System Requirements (ISDS – Individual Septic Disposal System)

Uniformity is needed in site plans submitted to the City of Broomfield Engineering, Building, and Health Departments so they can confirm that the house / drain field will fit on the lot as planned. The plans must show the correct scale to determine actual drain field size and its location based on percolation test results and engineer design, which is critical for future landscaping and/or future accessory building submittals. The drain field should not be impacted

by any future submittal. Therefore it is the ISDS applicant's responsibility to get the correct "to scale" site plan submitted with the ISDS application.

The site plan must include the following (in addition to what is required by the Building Department):

- Correct location and size of the proposed dwelling
- Correct size (based on engineer's test results) and location of the leach field
- Location and size of required septic tanks and distribution lines to leach field
- Location of soil percolation test and profile holes
- All applicable setbacks, including those from oil/gas wells, easements, drainage easements, etc. (refer to the Broomfield Health Department ISDS standards for all required setbacks, including setbacks from drainage easements and/or detention ponds).
- Known or approximate locations and size of proposed accessory buildings, swimming pools, barns, corrals, etc.

Implementation of these measures will protect the homeowner and the ISDS as well as streamline future permitting for possible future changes to a lot. Please Note: A copy of the approved landscape or accessory building plans for Spruce Meadows MUST be submitted to Broomfield Department of Health as part of the permitting process so that the design can be checked against the ISDS regulation, design and location.

A community wide annual inspection of all individual septic tanks and drain fields is performed annually by a third party inspector hired by the HOA to comply with City of Broomfield requirements. Septic tanks, risers, and drain field areas should be properly marked and protected from construction traffic prior to and after installation of the septic system during the construction period. Risers should be installed over all septic tank lids for access to the tanks at each annual inspection. Permanent landscaping materials and improvements are not permitted over septic tanks or drain fields (other than native grasses on drain fields and native grasses, mulch, or decorative rock over septic tanks).

Driveways, Culverts and Walkways

Driveways must be paved with asphalt or concrete to the primary garage(s). All drive-ways must be completed prior to move-in. Driveways to a secondary garage or other outbuilding may utilize other material as approved by the DRC. Berming, landscaping and curvilinear driveway designs should be used to minimize the impact of long stretches of concrete or asphalt. The maximum driveway width is 20 feet excluding flared ends. Flared ends can be a maximum of 6 feet on either side of the driveway and must be made of concrete or asphalt to match the driveway material. Materials used to create special paving patterns are subject to Design Review Committee approval.

Culverts, where required, must be designed to carry adequate upstream flow capacity as determined by City of Broomfield standards. Where culverts are needed, they shall not be sized smaller than the nearest culvert that carries upstream flows. Where larger culverts are needed at

driveway crossings, elliptical culverts are encouraged. Culverts and flared end sections must be concrete pipe. Culverts shall be installed to have the least amount of exposed concrete pipe. Exposed concrete culvert ends shall be covered with natural stone to help keep soil erosion from entering the borrow ditches. Culverts must be set at an elevation so that the bottom of the inlet and outlet allow for continual storm flows so as to not deter, interfere with, alter or obstruct the drainage flow provided by the developer and accepted by the City of Broomfield.

Walkways may be concrete, brick, concrete pavers, flagstone, or other natural materials to create the most attractive landscaping effect and all elements are subject to review and approval by the DRC. Brick, concrete pavers or natural flagstone are preferred in front yards in a color and material that best matches or complements the masonry used on the home. Decorative rock and other types of address markers, driveway lighting and driveway or walk-way entry columns must match or compliment other elements of the architecture of the home and are subject to approval by the DRC.

Retaining Walls

Retaining walls should be a maximum of two (2) feet in height constructed of brick, natural stone or similar materials subject to approval by the Committee. Terracing should be used where additional height is required. In exceptional cases where additional height may be needed, engineered plans may be required per code. Exposed concrete, treated wood, concrete block or creosoted railroad tie retaining walls are specifically forbidden. Retaining walls that are curvilinear and divided are preferred to straight, long walls. All retaining wall designs and materials must be submitted to the DRC for approval.

Exterior Mechanical Equipment

All exterior mechanical equipment, such as air conditioners and heating equipment shall be screened from view by a structure matching the exterior house material or be screened with landscaping with plant material of a 48" minimum height, preferably evergreen, to reduce impact. The screening method and materials are subject to approval by the DRC. Under no circumstances will these items be roof mounted or located in a window of the house.

Mailboxes

Mailbox kiosk stations for the entire community are located on the western side of the first landscape eyebrow on the north side of Spruce Meadows Drive upon entering the community from Zuni Street. These mailbox stations were installed in accordance with the U.S. Postal Service regulations and are owned and maintained by the HOA. Homeowners are responsible for getting their keys directly from the on-site sales office after the Lot closing or completion of the residence.

Exterior Lighting

To maintain the rural character of the area and to reduce glare and ambient light pollution, subdued down lighting is required on all exterior lighting. The lighting should minimize light

spill onto adjacent properties, rights of way or public areas and may be permitted by the Design Review Committee for such purposes as illuminating entrances, decks, driveways, landscaping, etc. In all cases, the minimum amount of exterior lights and bulb wattage should be used and shall be of a design compatible with the structure. Down lighting installed in soffits should be appropriately spaced for use as accent lighting to the structure and not used to illuminate entire elevations of the residence or accessory structure. Exterior outbuilding lights should match the primary residence lighting and must not create a nuisance to neighboring lots. Flood lighting, sodium vapor, mercury vapor, or other harsh HID light sources will NOT be allowed. Subdued uplighting may be permitted to accent trees in select portions of a landscape plan. **All exterior light fixtures and their locations (including those attached to the residence, accessory building, other approved improvements, or for landscaping), whether installed by the builder or subsequently by the homeowner, are subject to the approval of the Design Review Committee prior to installation.**

Play and Sports Equipment

Swing sets, play sets, sports courts, tennis courts, basketball courts and backboards, trampolines, swimming pools, and all other types of play equipment and facilities require prior DRC approval as to size, style, color and location. Swing and play sets will be located in the rear or side yard to minimize visibility from streets and will be constructed of natural materials. No metal swing or play sets will be allowed. Basketball backboards will be permitted as determined by the Design Review Committee; however, basketball backboards are not permitted to be mounted directly above any garage. Any necessary fencing or containment for such equipment is also subject to DRC approval.

Hot Tubs and Swimming Pools

Hot tubs and pools will be integrated into the design of the home and landscaping. Refer to the Fencing Section of these guidelines for privacy fencing and swimming pool fencing standards. The City of Broomfield code requirements must be followed for safety fencing requirements around swimming pools. **Above-ground pools will not be allowed.**

Flags and Flagpoles

Owners may display one American flag on their property or in a window of Owner's residence. Flags other than flags in a window shall be on a staff projecting horizontally or at an angle from the front porch. Flagpoles attached to the front of the house do not require approval as long as the pole top does not rise above the level of the bottom sill of the second story windows and is a maximum of 6'-0" long. Freestanding flagpoles are prohibited, except as approved by the Declarant for new home marketing. All flags must be displayed in a manner consistent with the Federal Flag Code.

Lawn Art

All lawn art, sculptures, fountains, decorations, windmills, and other similar decorations in view from the street or any adjacent lot, must be submitted to the DRC for approval prior to installation.

Dog Runs, Dog Houses and Dog Enclosures

ALL OUTDOOR DOG RUNS, DOG HOUSES, AND PET ENCLOSURES MUST RECEIVE DRC APPROVAL. Electronic fences as a means of containment are encouraged. **Dog run** location, size and materials are all subject to approval by the DRC and may be submitted on your landscape plan or separately if needed. **Dog runs** must be located in the rear or side yards, abutting the house as much as reasonably possible, and substantially screened from view from neighbors, adjacent public areas, or streets with landscaping or other approved materials and must be limited in size to 500 square feet or less. **Dog houses** are subject to approval by the DRC unless they are inside a dog run and fully screened from view. **Dog enclosures (a/k/a cages, crates, or kennels that are moveable, temporary, or portable)** must be professionally manufactured with DRC approved materials **other than chain link**, and must be limited in size to a total area of 50 square feet, or less. **Dog enclosures must be a maximum of 4 feet in height and screened from view from neighbors, adjacent public areas, and from streets with approved materials. Permanently installed dog enclosures** must be approved by the DRC for material type, style, color, height, size, and location. **Dog enclosure covers** made of the same material as the enclosure are permitted. Other types of covers require DRC approval. Tarps are not an approved covering material. **Dogs may not be chained as a means of containment. Chain link fence is prohibited and may not be used in any portion of a dog house, dog run, or dog enclosure. This guideline will be strictly enforced.**

The type and number of dogs and other pets is currently regulated by the Spruce Meadows CCR's and the Broomfield County Zoning Code.

Satellite Dishes or Antennae

The Design Review Committee may approve satellite dishes that are the smallest size available from the provider and flat array wireless cable TV antennas. Requests sent to the Committee for approval of installation of such instruments must meet the following requirements:

- Each dish or antennae must be located in the least conspicuous area possible that is still effective at getting a signal to minimize visual clutter. When there is more than one location that provides a signal, the location that minimizes the equipment view from the street must be used.
- A written request including the satellite dish or antenna specifications and image along with a photograph of the home indicating the location where the instrument is to be placed must be submitted for approval prior to any installation.
- Depending upon location and as determined by the Design Review Committee, the apparatus may be required to be painted within seven (7) days of installation to blend with the home color or the area from which it protrudes.

Solar Energy Devices

Committee approval is required for any solar energy devices. Passive and active solar energy systems must be integrated into the architecture of the residence area. Solar collection panels should blend into overall architectural massing and roof form designs. Solar panels should be at the same pitch as the roof, even though the slope may not be "optimal" for solar collection. A

small increase in panel size may be required to increase the efficiency of the collector array which is preferable to the visual conflicts of different angles and slopes on the roof. Solar panels will not protrude more than one foot (12") above roof surface or above ridgeline of a roof. No exterior plumbing may be visible.

LANDSCAPING

ALL PROPOSED LANDSCAPE IMPROVEMENTS (INCLUDING LIGHTING) REQUIRE APPROVAL BY THE DESIGN REVIEW COMMITTEE PRIOR TO INSTALLATION. Minimum landscaping standards have been created in order to assure that each Spruce Meadows homeowner enjoys the benefits of a well landscaped home and community. Homeowners are encouraged to design attractive and unique landscape plans within these guidelines. It is also strongly recommended that all homeowners consult with a professional landscape designer in order to create the best plan for the individual home site. A professional landscape architect may review plans as part of the DRC approval process. **Please remember that the DRC has 45 days to review all landscape plans.**

For the purpose of a common reference, these general landscaping definitions shall apply to the following section:

- **Landscaped Areas:** Planting beds containing trees, shrubs, ground covers, annuals, perennials, mulch and edger.
- **Turf:** Sod or Irrigated Grass such as Bluegrass
- **Natural Areas:** Areas on the Lot that are not defined as landscaped areas and do not have turf
- **Native Grasses:** Irrigated or non-irrigated grass species that require less water and less maintenance than turf.
- **Mulch:** Bark, gravel and other types of ground cover that are not grass

All proposed landscape improvements including trees, shrubs, turf, mulches, walls, gardens, water features, curbing, re-vegetation, lighting, etc. are subject to the criteria listed below and subject to Design Review Committee approval. Landscaping additions which were not part of the initially approved plan must receive separate Committee approval. Water conserving landscaping techniques such as xeriscape is highly encouraged. **No trees, turf or structures will be permitted to be planted over the primary or secondary leach fields. No permanent irrigation will be permitted over the primary or secondary leach fields.**

Re-vegetation of all areas disturbed by construction, including borrow ditches, and the required front yard landscape must be completed within 6 months of conveyance by the Builder to the initial homeowner. The remaining 50% of required landscaping as described below must be completed within one year of home closing.

Natural areas not covered by irrigation systems or manicured landscape must be re-vegetated with drought tolerant native grass species and other native plant materials which reduce weeds and can be mowed and maintained. This includes front and side yard borrow ditches which are the responsibility of the homeowner to reseed and establish revegetation prior to maintenance by

the Metropolitan District. Any other landscaping plans for borrow ditches must be approved by the DRC in accordance with other borrow ditch landscaping options later described in these Design Guidelines. See appropriate seed mixture for borrow ditches noted in “Landscaping Options for Borrow Ditches” later in this section.

Native grasses can take several growing seasons to become fully established and typically require reseeding to sparse areas to achieve full coverage. Homeowners will be required to over seed native areas (including borrow ditches) as needed to get grass establishment. Weeds are not an acceptable ground cover over designated native grass areas.

Native grasses over natural areas shall be permitted to grow to the grass mature height of the grass species planted up to 24” so long as the area is substantially weed free. Weeds in native areas (including over septic drain fields) must be removed or chemically treated in order to allow native grasses to mature. Otherwise, native grass areas must be maintained below 8” in height until the area is substantially weed free.

The HOA recommends the borrow ditch seed mixture or other mixtures as may be provided by a landscape architect and/or the CSU Cooperative Extension for individual lot natural areas. All residences shall be required to install an in-ground irrigation system that shall efficiently distribute water directly to the plants and grass that require it. Temporary, drip, or other low-water consumption irrigation systems are encouraged. All drip lines cannot be exposed on the surface and shall be covered with approved landscape materials. Permanent irrigation shall not be permitted over the leach field areas unless it is on a separate zone and used only to establish grasses or during drought conditions to keep grasses from dying.

Landscape Criteria

Areas adjacent to the main residence not covered by house, driveway, patios, sidewalks, etc. must be landscaped. However, intensely irrigated lawn areas shall be limited to 50% of the lot area (or as may be specified by Broomfield) preferably with alternative sod types that require less water and maintenance. Placing sod in the irrigated lawn areas will be required and seeding will not be allowed. However, seeding of native grass areas will also be required.

The larger lot sizes at Spruce Meadows require that heavily manicured landscaped areas around the home are designed to transition into re-vegetated natural areas of the home site without distinct landscape “boundaries” being evident. Landscape plans should address the transition from manicured to native areas.

Subdued uplighting may be permitted to accent trees or landscape improvements in select portions of a landscape plan at the sole discretion of the DRC.

Landscape plans shall be designed with adequate drainage to keep irrigation water from flowing to neighboring properties. Historic drainage flow patterns within the community were not altered during the development phase. Therefore, homeowners should be aware that heavy storm events may cause storm water runoff to travel across lots following the historic flow patterns.

Please be aware that certain types of trees and plants can be deadly to horses. Each Spruce Meadows homeowner is responsible for researching and planting appropriate horse friendly plants on their lot. Only plant species that are horse friendly are allowed. Regardless of whether or not a lot is designed or allowed for horses within Spruce Meadows, all landscape plans submitted must consider horse safety. A professional landscape architect can assist in the selection of horse safe plant species.

Each site, in addition to re-vegetation of all disturbed areas, shall be required to introduce new planting as follows:

Recommended Minimum Planting Requirements

Lot Size*	1.0 to 1.49 Acres	1.50 to 1.99 Acres	2.0 to 2.49 Acres	2.50 to 3.0 Acres
Tree Requirements	35	42	50	60
Shrub Requirements	90	110	130	150

*Lots with detention ponds may have their planting requirements calculated on the lot size less the detention pond area. Reduced plant requirements will be considered on lots with larger drain field areas. In these circumstances where trees may not be appropriate, additional shrubs may be allowed to be substituted.

- At least 20% of the trees shall be a minimum of eight (8) foot Evergreen species
- At least 20% of Deciduous trees shall have a three (3) inch caliper or greater
- Remaining Evergreen trees shall be at least six (6) feet in height
- Remaining Deciduous trees shall have at least a two (2) inch caliper
- All shrubs and bushes shall be five (5) gallon or larger in size.
- Perennials shall be one (1) gallon or larger.

Of the above requirements, 50% shall be planted within six (6) months of conveyance from the principal builder to the initial homeowner and shall be placed in the front yard or areas that are visible from or adjacent to public streets. The remaining 50% shall be planted within one (1) year of home closing and shall be placed in a combination of the side and rear yard. Materials installed over and above the minimum requirements can be of any size. All materials shall be planted in the locations designated on the approved landscape plan.

Landscape Plan

A plan for preparing the Lot for planting trees and lawn, grass, or other appropriate ground cover, including natural covers, and appropriate shrubbery for the entire Lot, including the area up to the street pavement will be submitted and approved by the Design Review Committee in accordance with the Covenants.

The “landscaping plan” must be drawn at a scale of 1”= 20’ or larger preferably by a professional landscape architect and be submitted to the Design Review Committee prior to commencement of landscaping with the Submittal Fee of \$150 containing the following:

1. Scale – written and graphic, including a North arrow
2. Existing plant material on the site
3. Planting to be removed or relocated
4. Existing and proposed structures and paving
5. Location of septic tank(s) and leach field area to scale
6. Berms, walls, proposed or existing fences or any other buffering device
7. Title block with name of owner, name of person preparing plan, address, and date prepared
8. A written or graphic statement describing type of irrigation system proposed and areas to be covered
9. Plant schedule legend showing type, quantity, and location of plants of each species, plant name, size and condition (B&B or container). Plant legend should be grouped by plant species.
10. Specifications and locations of decorative rock, rock or bark mulch, native grasses, etc.
11. Landscape or ground cover treatment for borrow ditch area adjacent to property boundary
12. Any proposed play or recreation equipment per requirements listed within these Design Guidelines)
13. All other proposed improvements (including lighting, fountains, hard surface improvements, etc.) or improvements visible to adjacent lot owners or the public

Landscape Maintenance, Death or Destruction of Living Plants

Landscaping must be maintained with appropriate water, fertilizer, mowing, pruning, and weeding. Natural areas require mowing several times a year and should be kept below 8” in height if mowed. Otherwise, native grasses over natural areas shall be permitted to grow to the grass mature height of the grass species planted up to 24” so long as the majority of the area is weed free. Weeds in native areas, including the septic drain field, must be removed or chemically treated in order to allow native grasses to mature. Otherwise, native grass areas must be maintained below 8” in height until the majority of the area is relatively weed free. Native grass mixes should eventually minimize weeds. However, weeds must be mowed and maintained below 6” in height. Any large scale weed and insect control measures as well as protective spraying must be coordinated with the City of Broomfield and/or the Colorado State Cooperative Extension.

In the event of death or destruction of any landscaping, including trees, shrubbery or sod., the Owner shall be required to replace such landscaping within 30 days after such death or destruction, or as soon as practical considering plant material, weather and growing season.

Should any Owner fail to comply with the landscaping requirements, the DRC shall have the power to require compliance or alternatively may complete the landscaping and require the Owner to pay the costs for such completion which will be assessed against that Lot. Penalties for non-compliance shall be in accordance with the HOA adopted policies for the community.

Landscaping Options for the Borrow Ditch

Homeowners have the following options with regard to landscaping their borrow ditches:

(Option #1) The homeowner or their landscape company may seed the ditch with the approved native seed mix to the edge of the road shoulder. The homeowner is responsible for watering and establishing the seed in the ditch. Once the seed is established, the Metropolitan District will maintain the ditch by weeding and mowing as needed.

Required Borrow Ditch Seed Mixture. :

Either of the following seed mixtures can be used for all borrow ditches:

a. Arkansas Valley Seed Solutions

877-957-3337 (Earth Carpet Care-Free Mix) comprised as follows:

- 30% Elite Creeping Red Fescue
- 20% Sheeps or Blue Fescue
- 20% Elite Chewings Fescue
- 20% Elite Hard Fescue
- 5% Improved Kentucky Bluegrass
- 5% Turf-type Perennial Ryegrass

b. Arkansas Valley Seed Solutions

877-957-3337 (Gro-Low Mix) comprised as follows:

- 30% Ephraim Crested Wheatgrass
- 25% Sheep Fescue
- 20% Perennial Rye
- 15% Chewings Fescue
- 10% Kentucky Bluegrass

(Option #2) They may extend the sod in their front yard into the borrow ditch (but the sod must stop at the road shoulder, (which is approximately 6' from the edge of the paved street) separated by edging to prevent the grass from growing into the road shoulder. If this option is selected, the homeowner is responsible for all maintenance of watering, mowing, and weeding of the borrow ditch. All irrigation lines and equipment necessary to water the sod shall be installed on the homeowner's property spraying out towards the street and shall not be installed in any portion of the street right-of-way or road shoulder.

(Option #3) They may rock the borrow ditch with a **combination** of river rock, cobble, small boulders or similar approved decorative rock material over a weed barrier fabric (but the rock must stop at the road shoulder (which is approximately 6' from the edge of the paved street). Edging may be installed at the edge of the road shoulder to help prevent dirt and sediment runoff from entering the rock area. Large boulders or plants or decorative grasses shall not be placed in the bottom of the ditch to inhibit drainage flows. If this option is chosen the homeowner will be responsible for the installation, maintenance, and all necessary erosion control within the ditch. Erosion control consists of keeping silt, dirt, debris and weeds out of the rock ditch to allow for proper drainage. Maintenance shall also consist of installing necessary erosion control measures to prevent runoff from uphill properties from depositing silt in the rock area, cleaning of rocks (as

necessary), keeping rocks weed free, etc. If rocks are selected, they must be stabilized, maintained, and free of weeds at all times. **No large expanses of the same color rock or rock style will be allowed in the front yard and borrow ditch.**

Note: Certain lots within Spruce Meadows have a large expanse of borrow ditch area along the property line that may not be suitable for such large amounts of rock. All ditch areas requesting rock shall be reviewed by the DRC **prior to installation** and will be approved or denied on a case-by-case basis at the sole discretion of the DRC.

If Option (2) or Option (3) are selected, the homeowner must mechanically verify proper grade to retain positive drainage flows through ditch to adjacent ditches prior to installing fabric barrier and rock. Decorative rock must not be placed above the bottom of the culvert inlet or outlets. The Metropolitan District will not be responsible for improper installation or maintenance of the ditch if Option #2 or Option #3 described above are chosen. The homeowner shall be held responsible for removal and replacement of all decorative rock that is not correctly installed.

If you have already seeded your borrow ditch, you still have the option of changing it to rock or sod. The DRC will require that you submit a simple landscape plan showing just the borrow ditch areas and the proposed treatment. We will need to know the approximate size, color and types of rock to be installed (if this option is chosen) and the DRC will review and approve all submittals on a case-by-case basis. Failure to submit a revised landscape plan for approval prior to making the change could result in fines and or removal.

Maintenance of Lot and Drainage

Each lot owner is responsible for any erosion control that may be necessary to protect their lot, adjacent lots, common areas, public streets (including right of way) and detention ponds from damage due to excessive irrigation drainage and landscaping or related erosion. This includes keeping streets free of mud and debris during the homeowner's landscape installation and repairing damage to any adjacent ditches. Fines will be assessed to the homeowner for non-compliance.

There will be no interference with the established drainage pattern over any property within the common area except as approved in writing by the Design Review Committee. Approval will not be granted unless provision is made for adequate alternate drainage. The "established drainage pattern" will mean the drainage pattern which exists at the time the overall grading of any property is completed and will include any established drainage pattern shown on any plans approved by the Design Review Committee. The established drainage pattern may include the drainage pattern from common elements over any site, from any site over the common elements, or from any site over another site.

When installing landscaping, it is very important to ensure that water drains away from the foundation of the house and that the flow patterns prevent water from flowing under or ponding near or against the house foundation, walkways, sidewalks and driveways or transferring excessive irrigation drainage on to adjacent properties. No plantings that require watering will be

allowed within five feet of the homes foundation to help prevent drainage problems.

FENCING

Fence guidelines have been established for Spruce Meadows in order to allow for different types of fencing at different locations and for different purposes while maintaining continuity within the community. **ALL FENCING INCLUDING ANY PERTAINING TO HORSE OR DOG CONTAINMENT MUST RECEIVE APPROVAL FROM THE DRC PRIOR TO INSTALLATION.** Each homeowner should be aware of any utilities or other improvements within lot easement areas and is responsible to call for staking from the appropriate utility company prior to installation of any fence or plant materials. The fencing plan must include the fencing type, color, height, location and area to be covered. Only those styles specifically identified within the Exhibits of these guidelines will be allowed and only if they exactly match the design. The different types of fencing allowed are described in **Exhibit B.**

Perimeter Fencing

To promote consistency within the community, three-rail white vinyl fencing is the only fencing allowed as Lot perimeter fencing on or between property lines except four-rail white vinyl fencing is the only fencing allowed on the rear property line of Lots 20 through 27 due to the portion of the Broomfield Master Trail that will pass through the Spruce Meadows community directly adjacent to these sites and the equestrian lot designation on these sites. Further, either the three-rail or the four-rail white vinyl fence can be used on the south side of Lot 27 adjacent to Spruce Meadows Drive, and the portion of Lots 31, 61, 2 Replat D, and 1 Replat D that are adjacent to the Broomfield master trail. To maintain consistency, it is recommended and preferred that the same fence height be used on the portion of Lots 31, 2 Replat D and 1 Replat D adjacent to the Broomfield trail. Where the four-rail fence meets the three-rail fence, it must be “stepped down” to where the four-rail fence meets the three-rail fence. The fencing will match community fencing in height, size, color and style which has been erected by the Declarant along Zuni Street. In no event shall a fence be permitted in areas designated on the recorded plat of the subdivision as an equestrian easement, or as such plat may be amended or original equestrian easements vacated, other than fence installed by Declarant along equestrian easement areas. No fencing will be installed in such a way that it impedes drainage. No fencing shall be allowed to run in front of the home or to be gated across driveway access unless otherwise specifically approved by the DRC. See **Exhibit B1** for specifications of Perimeter Fencing.

Interior Lot Fencing

Front yard fencing is not allowed. However, interior lot fencing used to designate rear yards and contain household pets and children may be open three-rail white vinyl, open three-rail stained wood that matches or compliments the primary residence, or wrought iron. **No natural wood, chain link or barbed wire fences will be allowed in the community.** A galvanized 2” X 4” welded wire mesh may be attached to the inside (homeowner side) of the open rail fence to contain small pets and children within rear yards. See **Exhibit B2** for Interior Lot Fencing Specifications. Electrically charged fences may be permitted, but only with approval of the Design Review Committee.

Privacy Fencing or Screening Fence or Enclosure

Solid fencing known as “privacy fencing” will not be allowed except to provide a screen. Acceptable uses for privacy fencing may include patio, hot tub, or to screen trash receptacles. In such cases, privacy fencing will be of a type, finish, and color compatible with the building architecture and shall not exceed five (5) feet in height. All fencing used to screen trash receptacle areas must be submitted to the DRC for approval prior to construction (see section on Trash/Weeds for additional information). Privacy fencing must be submitted to DRC for consideration and will be approved on a case-by-case basis.

Privacy fencing will not be allowed around swimming pools except to screen pool equipment. Architectural detailed wrought iron fencing that incorporates columns to match the primary residence is preferred around swimming pools. The homeowner is responsible for meeting any safety code requirements pertaining to swimming pool fencing and Broomfield requirements. All privacy fencing must be located and detailed for review by the Design Review Committee. Horse containment fencing and corrals are covered under the Equestrian Uses Section of these guidelines.

Gates

Gates are required to match the fence from which they are attached. However, special gates may be required to be installed on certain lots to allow access to specific easements and may be added to access equestrian easements or for mowing operations and maintenance on common areas. All gates that differ in material from the fence to which they are attached must receive DRC approval prior to installation.

Fence Maintenance

All fences on the homeowner’s property, unless maintained through the homeowners association or Metro District, must be maintained by the homeowner to be aesthetically pleasing, painted or stained as needed with missing rails, loose posts, and attached weld wire repaired or replaced as needed.

SIGNAGE

In an effort to limit the amount and different types of signage within Spruce Meadows, all signage will be subject to Community Sign Guidelines provided as a supplement to home builders and home owners. All signs are subject to DRC approval.

ACCESSORY BUILDINGS

Outbuildings, pool houses, barns, storage buildings and other types of auxiliary buildings shall be permitted subject to the prior written approval of the Design Review Committee and the criteria outlined below. **Prior to construction of any auxiliary building, the owner shall submit to the DRC for approval all plans and specifications with the same requirements as submitting for the primary residence.**

Outbuildings, Barns and Exterior Storage Areas

Detached garages, barns, gazebos, greenhouses, storage buildings or other types of outbuildings shall be compatible with the main residence in design, color, style, materials and roof pitch. Accessory buildings must be designed to look like a smaller version of the primary residence or a "carriage house." This may require breaks in plane, windows, more than one exterior material, exterior architectural elements, etc. All auxiliary buildings must be on a poured foundation and are allowed only if site conditions and location are such that they do not become offensive or objectionable to neighboring lots or block their view corridors. However, attractively designed barns will be permitted on those lots so designated with approved equestrian uses. No temporary and/or portable buildings or pre-fabricated buildings will be allowed. Improvements cannot be located within a detention pond, drainage easement, or other utility easement.

Lots that are less than two acres may only be allowed one (1) auxiliary building. A maximum of two (2) auxiliary buildings may be constructed upon Lots that are over two acres. The number of outbuildings allowed will be based on lot size and slope, septic drain field size, as well as their relationship to the primary residence and to neighboring residences.

In no event shall the auxiliary building be larger in scale than the primary residence. The ground floor area (footprint) of an auxiliary building shall not exceed 75% of the ground floor area of the primary residence on the Lot. The height of any auxiliary building can not exceed 20 feet. Outbuildings may be a maximum of one and ½ stories high. Use of existing topography may be required to create the least imposing outbuilding possible.

The outbuilding must be set back from the home at least 25 feet either located to its side or rear unless it is attached by a breezeway which will be reviewed on a case by case basis. The outbuilding must also be at least 25 feet from the side Lot line unless it is a corner lot and then it must be 30 feet from the street side. Where a Lot does not share a rear perimeter with another lot, the outbuilding should be at least 20 feet from the rear Lot line. In cases where the Lot backs to another Lot, the outbuilding should be at least 30 feet from the rear Lot line. **The maximum structure coverage on a lot may not exceed 12.5% of the lot area for both the residence and any auxiliary buildings per code requirements.**

Temporary Structures

No temporary structure, mobile home, camper, Recreational Vehicle, trailer, bus or other similar vehicle shall be occupied or used as residence or for housing purposes within the community. Any camper, Recreational Vehicle, boat or other recreational vehicle must be garaged or stored off site other than for purposes of loading (packing) or unloading with a maximum time on a lot of three (3) days at a given time, not to exceed 6 days per month.

Information Office and Model Homes

The Declarant may permit sales offices or model homes to be maintained within the Community, and on specified Lots for the purpose of selling Lots or Homes. Permission for sales offices must be in writing and signed by the Declarant.

EQUESTRIAN USES

Spruce Meadows enjoys a unique opportunity to provide equestrian trails with a number of lots large enough to accommodate horses in the community. The equestrian opportunities require specific conditions be met through the Design Review Committee in order to minimize the impact on neighboring lots, equestrian or not, and the community as a whole.

Equestrian Easements

Each owner in Spruce Meadows and the public shall have and enjoy an easement over, across, along and upon the areas designated on the Community Trail Map as equestrian easements for the purpose of use and enjoyment according to the posted Trail Rules. The Trail Rules will be posted for the benefit of residents and the public at major trail access points into the community.

Equestrian Lots

“Equestrian Lots” means those lots on which personally owned horses are permitted to be kept. Not all Lots within Spruce Meadows are designated as Equestrian Lots. A complete list of Equestrian Lots and Non-Equestrian Lots are provided in Table 1 below and in the Second Modification of Exhibit C of the recorded CCRs at Reception 2012008864. A maximum of 2 horses shall be permitted on an Equestrian Lot depending upon the lot size as indicated in the table. Horses shall not be permitted to be kept over leach field areas in accordance with the City of Broomfield regulations. Equestrian Lots are intended for enjoyment of the equestrian lot owner and shall not be used for boarding horses other than those horses owned by the lot owner. Horses shall not be kept on Lots which are not deemed to be Equestrian Lots. However, the use of equestrian easements located upon both Equestrian Lots and Non-Equestrian Lots shall be for the benefit of all residents. Stallions and horse breeding are not permissible at Spruce Meadows. Depending upon the size of the residence and other accessory building(s) that have been constructed on a lot, and the septic drain field area size, a designated Equestrian Lot may no longer have sufficient room or be suitable for horses.

Table 1: Allowable Number of Horses per Lot

Lot Number	Number of Horses Allowed		Lot Number	Number of Horses Allowed
Lot 1	2		Lot 46	0
Lot 2	2		Lot 47	0
Lot 3	2		Lot 48	0
Lot 4	2		Lot 49	0
Lot 5	2		Lot 51	2
Lot 6	0		Lot 52	2
Lot 7	0		Lot 60	0
Lot 8	0		Lot 61	2
Lot 9	2		Lot 62	2
Lot 10	2		Lot 63	2

Lot 11	0		Lot 64	2
Lot 12	0		Lot 65	2
Lot 13	0		Lot 66	2
Lot 14	0		Lot 67	2
Lot 15	2		Lot 68	2
Lot 16	2		Lot 69	2
Lot 17	2		Lot 70	2
Lot 18	2		Lot 71	2
Lot 19	2		Lot 72	2
Lot 20	2		Lot 73	0
Lot 21	2		Lot 1 Replat A	0
Lot 22	2		Lot 2 Replat A	0
Lot 23	2		Lot 3 Replat A	0
Lot 24	0		Lot 4 Replat A	0
Lot 25	0		Lot 5 Replat A	0
Lot 26	0		Lot 1 Replat B	0
Lot 27	0		Lot 2 Replat B	0
Lot 28	0		Lot 3 Replat B	0
Lot 29	0		Lot 1 Replat C	0
Lot 30	0		Lot 2 Replat C	0
Lot 31	0		Lot 3 Replat C	0
Lot 32	0		Lot 4 Replat C	0
Lot 33	0		Lot 1 Replat D	0
Lot 34	0		Lot 2 Replat D	0
Lot 35	0		Lot 3 Replat D	0
Lot 36	0		Lot 4 Replat D	0
			Lot 5 Replat D	0

Barns, Barn Stalls, Tack Sheds and Related Outbuildings

The construction of barns, paddocks, corrals and other related equestrian facilities are subject to Design Review approval and require identification of specific location, size, material and color submittal. Barns, barn stalls, tack sheds and related outbuildings are subject to the specifications of all other types of Accessory Buildings as outlined earlier in these Design Guidelines. They will be of compatible design, roof pitch, materials and colors as the home. However, attractively designed barns to look like and function as a true barn will be permitted on those lots so designated with approved equestrian uses. Their footprint may not exceed 75% of the footprint of the home or be higher than 20 feet. They must be located at least 25 feet to the side or rear of the home and must not be located within 100 feet of any adjacent property structure or pool. Barns and similar buildings must also be at least 20 feet from the rear lot line unless the lot shares a rear lot line with an adjacent lot in which case it shall be at least 30 feet from the rear lot line. Improvements cannot be located within a detention pond, drainage easement, or other utility easement. Barns may have additional setback requirements from detention pond and drainage easement boundaries imposed by the City of Broomfield Health Department. These outbuildings must be on a poured foundation but may have dirt flooring.

Containment, Corrals and Paddocks

All fencing styles including any pertaining to horse containment must receive approval from the DRC. The fencing plan must include the fencing type, location and area to be covered. Only those styles specifically identified within the Exhibits of these guidelines will be allowed and only if they exactly match the design.

All Horses must be contained within the Equestrian Lot and may not be allowed to roam freely throughout the community or on adjoining Lots. The horses may not be contained adjacent to the primary residence and may not be contained in the front yard or over the septic drain field area. Horses must be corralled at least 50 feet from the street the home faces.

Horses may be contained on a lot by approved perimeter lot fencing as specified in **Exhibit B1**. Solar generated invisible electric fencing may be placed on the inside of perimeter fencing if it is placed at least five (5) feet inside the property line for an added measure of horse containment security. In addition, paddocks (horse runs), corrals and round pens may be used for containing and working with horses on equestrian lots. Horse paddocks, corrals and round pens may be constructed of open three-rail white vinyl fencing as previously specified for Perimeter Lot Fencing. An additional type of paddock, corral and round pen fencing that will be permitted is round steel pipe panels in white, grey, brown or black commonly referred to as Priefert Panels. Additional manufacturers other than Priefert will be considered if they match the specifications in **Exhibit B3**. No metal post, wood post or wire constructed corrals will be allowed.

Horse Trailers

One (1) horse trailer will be allowed per designated Equestrian Lot but only during the period of time that horses are regularly maintained on the Lot. Horse trailers are recommended to be garaged or stored in barns and at the very least are required to be stored behind or alongside barns or paddocks in the least obtrusive manner possible, which includes being parked in a straight line parallel to the barn and level to the ground. The Design Review Committee may require that horse trailers be stored in garages or barns or offsite if they are considered unsightly. Additional landscaping, berming and other measures may be required to screen horse trailers from view from streets and other homes in cases where they will not be garaged. Horse trailers may not be used for storage unless that storage is directly related to the care and upkeep of the horses or for their waste and its removal.

Equestrian Runoff and Erosion Control

The runoff and erosion from each barn and paddock or corral shall be controlled so the runoff of water, including wastewater, manure and any other materials from the barn and paddock or corral areas, does not flow onto adjacent properties or lots or into borrow ditches, detention ponds, or other drainage areas. The owner shall be responsible for installing and maintaining all runoff control measures.

Horse Feed

Lots within Spruce Meadows are not of sufficient size to provide the minimum nutrients of a horse's diet. Therefore, all horses must be fed supplementally. All hay, feed, grain and other animal food used for supplemental feeding shall be stored in an enclosed building or shall be stored and covered directly adjacent to a barn or stable; however, brightly colored tarps will not be permitted as an acceptable covering material. An owner must take all steps necessary to protect and maintain grass, trees, shrubs and vegetation on the Lot, and shall not allow de-vegetation to occur. If it comes to the attention of the DRC that any owner is grazing a horse(s) on the Lot, or has failed to protect and maintain the vegetation, the DRC may immediately issue an order to cease and desist and take all other actions necessary to enforce this position.

Equestrian Waste Removal

No manure shall be stored in a location or manner such that it is visible or creates a nuisance to surrounding homeowners. Each owner which has horse(s) on an equestrian lot shall be required to remove the manure, refuse from the barn and paddock, and horse waste material as necessary but at least two (2) times per month. An owner shall be required to remove such materials more frequently if the accumulation is creating a nuisance, including but not limited to gathering of flies, odors drifting onto neighboring properties or unsightly conditions.

VEHICLES

The intent of this section is to limit the number of vehicles that are not in covered storage on a lot and to limit the types of vehicles that may be parked on a lot.

Storage and Parking of Vehicles

No recreational vehicle (RV), camper, campers not on a truck, boat, snowmobiles, any engine powered recreational equipment, mobile home, trailer, tractor, loaders, bobcats or other types of equipment, motor home or truck (other than up to a 1 ton non-commercial pickup truck) will be stored or will be parked anywhere within the Association Area or on any public or private road or street unless such parking or storage is within a garage, except that any such vehicle may be otherwise parked as a temporary expedient for loading, delivery, or emergency. This restriction, however, will not restrict trucks or other commercial vehicles that are necessary for the construction or for the maintenance of the Lots, Common Elements, other property or any improvements. Off-street parking will be limited to the garage and paved areas of the driveway. No unsightly, disabled, inoperable, or unlicensed or untitled vehicles may be stored on a lot, including the private driveway, unless enclosed in a garage.

Any camper, Recreational Vehicle or boat must be garaged or stored off site other than for purposes of loading (packing) or unloading for a maximum of three (3) days at a given time, not to exceed six (6) days per month.

Vehicle parking shall also be subject to Section 10 of the recorded CCRs and the Community Rules and Regulations that may impose additional restrictions.

Vehicle Repair

No maintenance, servicing, repair, dismantling, or repainting of any type of vehicle, boat, machine, or device may be conducted upon a Lot, except within a structure which screens the sight, sound, and potential noxious odors of the activity from the street and from other Lots.

Motorized Vehicles

No motorized vehicles of any kind shall be permitted in any common area or in any area established as an equestrian easement or pedestrian trail, except during trail maintenance operations and except for those authorized areas for access to oil and gas operations. This includes all cars, trucks, motorcycles, three and four wheelers, mopeds, scooters, and motorized skateboards. No aircraft or helicopters shall be permitted within the community.

Commercial Vehicles

No commercial type vehicle or truck shall be stored or parked on any lot except in an enclosed garage. No such vehicle shall be parked on any road or access right-of-way except when engaged in transportation to or from a residence on a lot within the community. For the purpose of this paragraph, a one ton or smaller vehicle commonly known as a pick up truck and which is not used for commercial purposes shall not be deemed to be a commercial truck or vehicle.

SAFETY, MAINTENANCE AND NUISANCE

All improvements and residences must be maintained, must remain safe, and must not become a public nuisance. Improvements, properties, or items, DRC approved or otherwise, that become a nuisance, a safety concern, or become aesthetically degrading to the community, as judged by the DRC, shall be reviewed and are subject to enforcement as specified in the Declaration of Covenants.

Weeds and Trash and Trash Receptacle Storage

All lots shall be kept in a clean and maintained condition free of all rubbish and debris. Weeds will be mowed to a maximum height of 8". Native grasses, if mowed, including borrow ditches, will be mowed to a maximum height of 8". Native grasses over natural areas shall be permitted to grow to the grass mature height of the grass species planted up to 24" so long as it is substantially weed free. Weeds in native areas (including over septic drain fields) must be removed or chemically treated in order to allow native grasses to mature. Otherwise, native grass areas must be maintained to a maximum height of 8" until the area is substantially weed free.

All garbage and other waste shall be kept in sanitary containers and appropriately maintained and concealed in accordance with the CCR's, Design Guidelines, and Rules and Regulations. All trash and recycling receptacles shall be stored in the garage or substantially screened from view from the street and neighboring lots. Architectural features of homes that can adequately screen

all receptacles can be used as screening areas. If receptacles cannot be stored in the garage or screened with existing architectural features, exterior trash storage locations will be required. These trash storage locations will require DRC approval as to size, location, materials, color, etc. Picket or lattice fence, tarps, or other means of temporary screening shall not be an acceptable screening method. All exterior trash receptacle storage areas shall be limited to five (5) feet in height and constructed in such a manner to match or blend with the architectural style and color of the residence and be located in the least conspicuous area on the lot to minimize view from the street and adjacent lots. Location, total area, and materials shall be determined on a case-by-case basis in the sole discretion of the DRC.

No burning or burying of garbage is allowed anywhere within Spruce Meadows.

Fires

No open burning of any kind shall be permitted without the written permission of the City of Broomfield and DRC other than in fireplaces or barbeques which are equipped with spark arresting screens.

SUBMITTAL PLAN PROCESS AND REQUIREMENTS

The following information outlines the submittal plan process and is designed to be used as a tool prior to preparing a submittal for review by the Design Review Committee. A plan approval letter from the DRC is required before Broomfield Building Department will issue a building permit. If there are any questions regarding a submittal or the process, please contact a member of the DRC.

Architect and Builder Qualifications

The Design Review Committee may not approve architects or builders who do not meet the requirements or performance standards as evidenced by their submittals or by work performance unacceptable to the Committee or the Declarant.

Architects and Builders must meet the following requirements to design or build residences:

- Architects must be licensed to practice architecture or must submit a portfolio of examples of past design work.
- Builders must complete the builder application form and submit evidence of experience satisfying the requirements of the Design Review Committee. Once approved, builders must execute and abide by the terms and conditions of the Spruce Meadows Premier Builder Program Agreement.

Preliminary Design

Before any final architectural or site plans are completed, it is required to schedule a meeting with the DRC to review preliminary designs of the home's four sided exterior elevations and materials and to determine how the home will be sited on the lot. This allows DRC to make comments and the architect to make changes in the beginning stages of the process rather than

waiting to submit completed drawings that may not meet the intent of these guidelines and therefore, will not be approved without major changes. The preliminary design meeting is an opportunity to save both time and money and there is no DRC fee assessed for this meeting. To schedule a preliminary design meeting, call 303.469.1121. The following documents must be submitted for the Preliminary Design Meeting:

- Site Plan with existing and proposed grading contours and proposed foundation elevation
- Building footprint size and location
- Setbacks and easements
- Leach field location
- Exterior elevation style
- Garage orientation and driveway access and percent of slope
- Any exterior materials if known

Site Plan

Prior to any construction, two (2) copies of the Site Plan shall be submitted to the Design Review Committee for review. The Site Plan shall be a minimum scale of 1:20 and must include:

- Building location within setbacks and building envelopes (including any barns or outbuildings)
- Minimum setback locations and easements
- Setback distances from property line to building(s)
- Existing fences
- Driveway location and percent (%) of slope indicated and size of culvert if required
- Grading and drainage plan showing existing and proposed grades at a maximum 2' interval with spot elevations at building corners
- Water meter location and water meter pit elevation to be used as a benchmark
- Actual septic tank and leach field locations. Leach field shall be sized to scale per percolation tests and engineer's system design. Show leach field setbacks from all drainage easements or detention ponds.
- Top of foundation elevations including garage and basement
- Each builder must stake the proposed residence top of foundation corners for an on-site inspection by the DRC prior to excavation, if required.

Site Staking

The submittal may also include an actual site staking of building corners, driveways and other improvements as required by the DRC. In determining the proper location for each improvement, the DRC may consider the location of existing and future improvements on adjacent sites and other considerations as it may deem appropriate. If required, the lot should be staked as follows:

- Each improvement should be indicated with 4-foot high wood or steel stakes at corners. The outline of the improvement may be required to be marked by connected string between corner stakes. Side and front lot lines may also be required to be marked in a similar manner if they are not already marked. The main floor elevation of the structure shall be clearly marked on the building corner stakes.
- All property corners shall be clearly marked.

- Driveway locations will be staked at each side of the drive at 10 foot intervals from the access road to the site.
- All other improvements, including any accessory buildings, shall also be staked.

Architectural Plan

Two (2) full size sets (24" x 36") of complete architectural working drawings along with two (2) 11" X 17" copies shall be submitted including:

- Floor plans at no less than 1/4" = 1' 0"
- All exterior elevations with exterior materials noted
- Exterior details, including chimneys, exterior stairs, decks, railings, deck columns,
- At least one cross section of the structure indicating roof pitches and height
- Plans indicating location of all exterior lighting
- Samples of all exterior materials and colors, including cut sheets of exterior light fixtures and a written list of manufacturer name identification and color designation or number. Colors may be modified, if so desired, if colors are resubmitted and approved.
- A completed Submittal Application Form and a completed Submittal Checklist and Materials and Color Form shall be included with each submittal to the DRC.
- All plans and samples must be clearly marked with the date and all revision dates, owner's and/or builder's name, lot and filing number.

The Design Review Committee may occasionally request additional information in order to be able to visualize the proposed residence. Due to plan storage constraints, plans larger than 24 x 36 cannot be stored. **Incomplete submittals will not be reviewed by the DRC and will be returned to the Builder for re-submittal.**

DRC Submittal Address

When your submittal has been prepared it should be submitted to:

**Spruce Meadows Homeowners Association, Inc.
Attention: Design Review Committee
2415 Spruce Meadows Drive (Sales Office)
Broomfield, CO 80023
Contact Jeff Salter at 303.469.1121**

Submittal Review

Upon receipt of all required documents, the Design Review Committee will review the plans and will provide a written response to the owner **within forty-five (45) days after submittal**. In the event of any disapproval or changes by the Design Review Committee of final submittal, re-submittal of plans will follow the same procedure as an original submittal with no additional fee. There will be a **\$300.00 Design Review fee** for the initial review of architecture and site plans if they are submitted using a Premier Builder. Otherwise, a \$400 Design Review fee will be charged. For additional architectural reviews of the same residence, no additional review fee will be charged. Checks should be made payable to: **Spruce Meadows Development, Ltd. and included with the initial application forms.**

Consistency of Decision and Enforcement

All decisions and approvals shall be made with the intent of preserving the Design Review Committee objectives, and the community's best interest. Therefore, the interpretation, level of enforcement, and the decisions of the DRC may vary with location and time. Past DRC approvals and decisions in no way indicate the result of future approvals and decisions. All improvements must be submitted on an individual basis and past approvals do not extend to new improvements. Enforcement by the DRC regarding a specific improvement in no way requires enforcement for another improvement, including identical improvements at different locations. Any non-compliance to the Design Guidelines, DRC requirements, or the Declaration may be enforced as allowed by the Declaration.

Challenging Improvements, Filing Complaints, and Reporting Public Nuisances

Owners and members of Spruce Meadows may challenge existing and future improvements, file complaints, or report public nuisances by contacting any member of the DRC or the current management firm or entity, and the DRC or HOA shall investigate, while striving to maintain confidentiality. **Improvements made without obtaining DRC approval are subject to challenge by residents of Spruce Meadows, full DRC review, and complete compliance with DRC requirements including the possibility of removal and demolition.**

Additional Construction, Landscaping or Exterior Changes

Additional construction, landscaping, or accessory improvements or changes before, during or after completion of an approved structure must be submitted to the Design Review Committee for approval prior to initiating such changes or additions. Please refer to the Landscape or Accessory Building Sections for DRC requirements, submittal information, and fees.

Exemptions

The following types of changes, additions or alterations do not require the approval of the DRC. Although exempt from review by the DRC, all work must proceed in accordance with all federal, state and local codes, ordinances and regulations having jurisdiction at the site and the Design Guidelines.

- Addition of vegetation to a Lot in accordance with locations of a previously approved landscape plan.
- Modifications to the interior of a structure when those modifications do not materially affect the outside appearance of a structure.
- Repainting and/or re-staining in originally approved colors.
- Repairs to a structure in accordance with previously approved plans and specifications.
- Seasonal decorations if removed within two weeks following the holiday.
- Removal and replacement of dead or diseased vegetation located within the Lot. However, removal or replacement outside the Lot, within adjacent common open space or within an easement requires approval by the DRC.
- Infrastructure improvements to be constructed by the Declarant.

Work In Progress

The Design Review Committee may inspect all work in progress and give notice of non-compliance. Absence of such inspection and notification during the construction period does not constitute either approval of the Design Review Committee of the work in progress or its compliance.

Review of Waiver

The Design Review Committee reserves the right to waive or vary any of the procedures or standards set forth at its discretion for good cause shown.

Damages

THE SPRUCE MEADOWS HOMEOWNERS ASSOCIATION AND THE DESIGN REVIEW COMMITTEE SHALL NOT BE LIABLE FOR DAMAGES TO ANYONE SUBMITTING PLANS TO THEM FOR APPROVAL, OR TO ANY OWNER BY REASON OF MISTAKE IN JUDGMENT, NEGLIGENCE, OR NONFEASANCE ARISING OUT OF OR IN CONNECTION WITH THE APPROVAL, DISAPPROVAL OR FAILURE TO APPROVE ANY PLANS OR SPECIFICATIONS. EVERY OWNER OR OTHER PERSON WHO SUBMITS PLANS TO THE DESIGN REVIEW COMMITTEE FOR APPROVAL AGREES, BY SUBMITTAL OF SUCH PLANS AND SPECIFICATIONS, THAT HE/SHE WAIVES ITS RIGHT TO BRING ACTION OR SUIT AGAINST THE HOMEOWNERS ASSOCIATION OR THE DESIGN REVIEW COMMITTEE, OR ANY OF ITS MEMBERS, OFFICERS, DIRECTORS, AGENTS, REPRESENTATIVES, HEIRS, SUCCESSORS AND ASSIGNS TO RECOVER DAMAGES.

SUBMITTAL FORMS

The application form for Design Review Committee Approval is attached to these standards. All plans submitted for review must be drawn to scale. All plans shall be of the same sheet size. Other exterior color selections must be approved prior to being applied to the dwelling. A display board showing the front elevation and all of the colors and materials to be used must be provided before final approval will be given. Landscaping Plans must be drawn to scale and must show all existing improvements and all proposed improvements, including plantings, walls, fountains, lighting, barns/outbuildings and secondary access drives, fences, dog runs, swimming pools, and play areas. Documents provided to the Design Review Committee will be retained by the Committee for the Committee records. Color Boards will be returned upon completion of installation.

**SPRUCE MEADOWS DESIGN REVIEW
SUBMITTAL INSTRUCTIONS**

Steps in Submitting Plans to the Design Review Committee for consideration:

- Step One: Schedule a Preliminary Design Meeting**
- Step Two: Complete the Application Form**
- Step Three: Complete the Spec Home Worksheet (when applicable)**
- Step Four: Complete the Materials and Colors Form (when applicable)**
- Step Five: Complete the Submittal Checklist Form**
- Step Six: Forward forms and materials to the DRC with any applicable fees (Application Form, Spec Home Worksheet, Materials and Colors Form, Checklist Form and Required Drawings and Materials)**

Design Review Fee Structure:

Submittal	Initial Review Fee	Re-submittal Fee
Conceptual Design Meeting	No Fee	
Architecture and Site Plan <i>Premier Builder Submittal</i>	\$300.00	No Fee
Architecture and Site Plan <i>Non-Premier Builder Submittal</i>	\$400.00	No Fee
Landscape Design	\$150.00	No Fee
Accessory Building (<i>if submitted later than primary residence</i>)	\$100.00	No Fee
Fencing Plan	No Fee	\$50.00
Other Submittals	No Fee	\$50.00

This fee structure has been created in order to offset expenses for professional architects and landscape designers to review appropriate plans as members of the Design Review Committee.

**If you have any questions regarding your submittal,
Please call 303.469.1121 or 303-346-6437.**

**SPRUCE MEADOWS DESIGN REVIEW
APPLICATION FORM**

Please submit this application form to the Design Review Committee in order to have your plans reviewed. A plan approval letter is required from the DRC before Broomfield Building Department will issue a building permit.

Contact Information: (This is where review comments will be sent unless otherwise indicated)

Name: _____

Current Address: _____

City/State/Zip: _____

Home Phone: _____ Business Phone: _____

E-Mail Address: _____

Submitted For:

Lot Number: _____ Street Address: _____

Please check what is being submitted for review:

- Architecture and Site Plan
- Landscape Design
- Auxiliary Buildings: Detached Garage, Outbuilding, Barn, Storage Shed, etc.
- Fencing Plan: Perimeter, Interior, Privacy, Corrals, etc.
- Other: Play Structures, Swimming Pools, Signage, etc.
- Is this a ____ First Submittal or a ____ Re-submittal?

Any comments regarding your submittal that the DRC should consider?

- DRC Fee enclosed - Please make checks payable to:**
Spruce Meadows Development, Ltd.
Submit to: Spruce Meadows Homeowners Association
Attn: Design Review Committee
2415 Spruce Meadows Drive, Broomfield, CO 80023

I understand that I must receive approval from the Spruce Meadows Homeowners Association Design Review Committee in order to proceed. I understand that the Design Review Committee approval does not constitute approval of any federal, state or local requirements and that I may be required to obtain a building permit. I agree to complete improvements promptly after receiving approval and abide by the established Rules & Regulations and Construction Regulations. I also understand that I shall maintain proper drainage away from my foundation and not impede proper drainage swales on my lot when installing building or landscape improvements. I also acknowledge that I may not hold any member of the Home Owners Association Board of Directors or Design Review Committee liable for damages by submitting plans to them for approval regardless of their decision to approve or disapprove such plans.

Date: _____

Signature: _____

SPRUCE MEADOWS PREMIER BUILDER SPEC HOME WORKSHEET

The following worksheet is to be completed after your Conceptual Design Meeting and submitted with your DRC application if you are submitting a spec home. The sales team may use this worksheet in marketing your spec home after it has been approved.

Applicant Name: _____ Lot Number: _____

Is this the first time you have built this floor plan?

Yes No If no, where has it been built before? _____

If you have built the home before, is this a different elevation than you have used before?

Yes No If no, where is this elevation built? _____

Exterior Design:

What is the architectural style of the home? _____

How has the home been designed to take advantage of the home site for views, east and west orientation?

What elements of the home make it feel like it "fits" on the land? (i.e. scale, size, materials, exterior elevation, placement, colors, etc.) _____

Buyer Profile:

What type of buyer has this home been designed for?

Family with children at home Empty Nesters Couple with no children

Number of family members designed for: _____

Anticipated age range of family members: Adults _____ Children _____

Floor plan Design:

Type of Floor plan: Ranch Two-Story Other _____

Type of Basement: Crawl Space No Light Unfinished Garden unfinished

Garden partial finish Walk-out unfinished Walk-out partial finish

Finished Square Feet: _____ Anticipated Price Per Square Foot: _____

Number of Bedrooms: _____ Number of Baths: _____

How many garage spaces are designed? _____

Interior Finishes:

Is a trained professional designing and selecting the interior finishes?

Yes Name of Ind. Or Firm _____

No If not, who is selecting them? _____

Kitchen Cabinet Material: _____ Kitchen Countertop Material: _____

Is the home wired for high speed access, security system, speakers, etc.? Yes No

Are there any special features in your home you would like to describe? _____

SPRUCE MEADOWS DESIGN REVIEW
MATERIALS AND COLORS FORM

Please submit this form to accompany your materials and color board to the Design Review Committee for consideration.

Lot Number: _____

Date: _____

Owner: _____

Address: _____

Exterior Material: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Material: _____

Manufacturer: _____

Color: _____

Style: _____

Paint/Stain Colors: _____

Manufacturer: _____

Body Color: _____

Trim Color: _____

Other Colors: _____

Roofing Material: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Lighting: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Lighting: _____

Manufacturer: _____

Color: _____

Style: _____

Deck/ Porch Material: _____

Color: _____

Style: _____

Railings: _____

Fencing Material: _____

Style: _____

Color: _____

Height: _____

Location: _____

**SPRUCE MEADOWS DESIGN REVIEW
SUBMITTAL CHECKLIST FORM**

Please submit this form to accompany your application form, spec home worksheet, materials and colors form and materials and colors board with two site plans and two architectural plans and any applicable fees to the Design Review Committee as the final step in the review process.

Applicant Name: _____ Lot Number: _____

FORMS

- Completed Application Form
- Completed Spec Home Worksheet
- Completed Materials and Colors Form
- Completed Checklist Form (this form)

SITE PLAN (2 Sets of Plans at Scale of 1:20)

- Building Location within Setbacks
- Setbacks and Easements
- Driveway Location and Percentage of Slope with Culvert Size when required
- Grading and Drainage Plan Including Septic and Leach field to scale
- Top of Foundation Elevations (Including Garage and Basement)

ARCHITECTURE (2 Full Size Sets of Plans at Scale of 1/4" = 1' 0" and 2 Copies Sized to 11" X 17")

- Floor Plans (Check all below that apply with this submittal)
 - Residence
 - Outbuilding: _____
- Exterior Elevations
- Cross Section
- Location of Exterior Lighting
- Cut Sheets of Exterior Light Fixtures
- Materials and Color Form
- Color and Material Board (2' x 3' display of color & materials)*If colors have not been determined at time of initial submittal, color board may be submitted for approval at a later date.

OTHER

- Landscape Plan (not required with Architectural Submittal)
- Fencing Plan (required with Landscape Plan)
- Auxiliary Building (if applicable, not required with Architectural Submittal)
- Other Improvements (if applicable, not required with Architectural Submittal)

FEES (Check all that apply)

- | | | |
|---|---------------------------|-------------------------|
| <input type="checkbox"/> Architecture and Site Plan Premier Builder | ___ Initial Review \$300 | ___ Re-submittal No Fee |
| <input type="checkbox"/> Architecture and Site Plan Non-Premier Builder | ___ Initial Review \$400 | ___ Re-submittal No Fee |
| <input type="checkbox"/> Accessory Building | ___ Initial Review \$100 | ___ Re-submittal No Fee |
| <input type="checkbox"/> Landscape Design | ___ Initial Review \$150 | ___ Re-submittal No Fee |
| <input type="checkbox"/> Fencing Plan | ___ Initial Review No Fee | ___ Re-submittal \$50 |
| <input type="checkbox"/> Other Submittals | ___ Initial Review No Fee | ___ Re-submittal \$50 |

SPRUCE MEADOWS CONSTRUCTION REGULATIONS

In order to insure a safe, neat and orderly development site, the Declarant has established certain construction and safety regulations for Spruce Meadows.

Damage Deposit

Premier Builders participating in the builder program and Lot Owners at Spruce Meadows are required to provide a damage deposit of \$2,500 at the lot closing to be held by the developer until the home is completed, or until the completion of the landscaping if the lot owner paid the damage deposit. These funds may be used to cover street cleaning due to lack of proper erosion control, trash clean up, damage to or sediment removal from borrow ditches and drainage culverts, neighboring sites, or trash removal. Upon home completion (and prior to the home closing to a third party or after landscaping), the builder or homeowner and developer will walk the site together to determine what, if any, clean up or repair is required before refunding the damage deposit.

Storage of Materials and Equipment

Builders and their subcontractors are permitted to store construction materials and equipment only on the building site during the construction period. Materials shall be neatly stacked and properly covered and secured. Storage of materials or construction equipment outside the building site will be done only with approval of the Declarant. Builders and their subcontractors will not disturb, damage, or trespass on other lots, through borrow ditches, or the open space. Should any such damage occur, it shall be restored and repaired at the offender's expense.

Erosion Control/Stormwater Management

All builders shall be responsible for erosion control on their Lots during construction and homeowners during landscaping installation. This includes having the required Storm Water Permit, a Storm Water Management Plans (SWMP) and Best Management Practices (BMPs) that shall include at a minimum silt fence, straw bales or wattles, adequately maintained vehicle tracking pads, the cleaning and sweeping of streets adjacent to the Lot as often as necessary during the construction or landscaping period, installation of all required BMPs to prevent erosion into the drainage swales or detention ponds (including BMPs during the re-establishment of native seed in the borrow ditches), secondary containment measures, as well as weed mowing on the property. Builders and homeowners (or their landscape contractors) shall promptly clean their property and streets and shall maintain the improvements and all portions of the property in good condition and repair at all times and shall immediately repair any damage to borrow ditches, including reseeding, or damage to adjacent lots.

Homeowners should ensure that the landscape installation contractor is aware that the homeowner is personally responsible for any erosion control that may be necessary to protect the lot, adjacent lots, common areas, public streets (including right of way), detention ponds and borrow ditches from silt runoff and damage due to landscaping installation and while native grasses are being established. The Broomfield Storm Water

Spruce Meadows Design Guidelines Revised 10.8.12

Division does NOT ALLOW the stockpiling of rock, mulch, or dirt on the streets and doing so could result in fines. The DRC and/or the Developer will assess fines to the homeowner for non-compliance of erosion control measures.

The Developer WILL NOT be held responsible for individual Storm Water Management and Best Management Practice violations caused by builders or homeowners or their subcontractors. Each builder and/or homeowner will be held accountable for any costs incurred by the Developer to remedy enforcement violations issued by the City of Broomfield, the State of Colorado, or the EPA.

Tracking Pads/Debris and Trash Removal

Each construction site shall have an adequately sized tracking pad installed **prior** to excavation of the house foundation to minimize tracking mud onto the streets. There will be only one point of entry and exit over the tracking pad and the tracking pad shall be properly maintained at all times. Construction traffic shall not affect undeveloped tracts, borrow ditches, open space, or neighboring properties.

Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public roads, drainage areas, open spaces and driveways. If debris is not removed after reasonable notice, the damage deposit will be debited.

Builders and their subcontractors must maintain a metal roll-off trash receptacle of sufficient size. Trash and debris shall be removed from each construction site as often as necessary at the builder's expense. Lightweight material, packaging, insulation and other items shall be covered or weighted down to prevent wind from blowing such material off the construction site. Builders will be responsible for cleanup of blowing trash within the community directly related to their building site. Builders and their subcontractors are prohibited from dumping, burying, or burning trash anywhere within the community.

Parking Areas

Construction crews will park only on the lot or tract they are working on (preferably on the vehicle tracking pad) and under no circumstances will they be allowed to block or impede access to neighboring properties. A minimum apron (15' x 50') will be required on each site at the access point to the lot from the paved road using recycled concrete or other approved materials that comply with BMP's approved by Broomfield or the State.

Concrete Wash-out Area

Each building site will be required to have a designated concrete wash-out area that is clearly posted. Concrete shall be washed out in the designated area only and not on the tracking pad, street, or other areas of the site or any common areas within the community. The wash out area shall be cleaned as necessary and all hardened concrete property disposed of. This regulation shall be strictly enforced.

Excavation

Excavation shall occur only on the designated lot. Builders shall be responsible for removal of excess excavation material from Spruce Meadows. The materials will not be placed in common areas, roads or on other lots not owned by the builder. If excess dirt is transported to another

building site and not immediately used, the dirt shall be properly graded to the site, seeded with native grass, and all necessary BMPs installed, and the builder's SWMP plan updated accordingly.

Portable Toilets

Each builder is required to provide a portable toilet on their home site for their subcontractor use. Toilets shall receive regular maintenance and be located on the lot away from existing occupied residences. Portable toilets shall not be located on the street or road shoulder and must be set back a minimum of 10' away from the borrow ditch or any drainage easement in accordance with Broomfield requirements.

Signs

Signs such as typical real estate signs, lending institution signs, architect signs, builder signs, subs and supplier's signs, etc. are subject to Community Sign Guidelines which will be provided to each builder. These Sign Guidelines regulate the size and number of signs permitted on each lot.

Construction Trailers and Storage Facilities

Any temporary structures including construction trailers or storage facilities used during the construction period must be approved by the DRC as to size, configuration and location prior to placement on any site within Spruce Meadows. If approved, the structure must be removed upon issuance of the certificate of occupancy. Temporary construction trailers are limited to 400 square feet and will be used for conducting business or storage of site related equipment and materials during operation hours only.

Hours of Operation

Daily working hours for builders and their subcontractors for each construction site will be limited to 7:00 a.m. to 7:00 p.m. Monday through Sunday or in accordance with Broomfield zoning or building code regulations.

Miscellaneous and General Practices Prohibited

The following practices will not be allowed:

- Allowing concrete suppliers or contractors to clean their equipment in any area not designated for such purpose on each construction lot
- Speeding within the Spruce Meadows community
- Bringing any animals or pets onto the property
- Playing a radio, CD or other music device at a level that can be heard by neighbors or is considered a nuisance

Local, State and Federal

All applicable local, state and federal regulations and requirements will be strictly observed at all times.

Utilities

Builders or their subcontractors, including landscape contractors, must call for utility locates at least three business days before digging, grading, excavating or landscaping within Spruce Meadows. The utility notification center of Colorado's phone number is **1.800.922.1987**.

Exhibit A
Building Envelopes

No pre-determined building envelopes have been created at this time.

Exhibit B – Fence Types
Spruce Meadows Design Guidelines

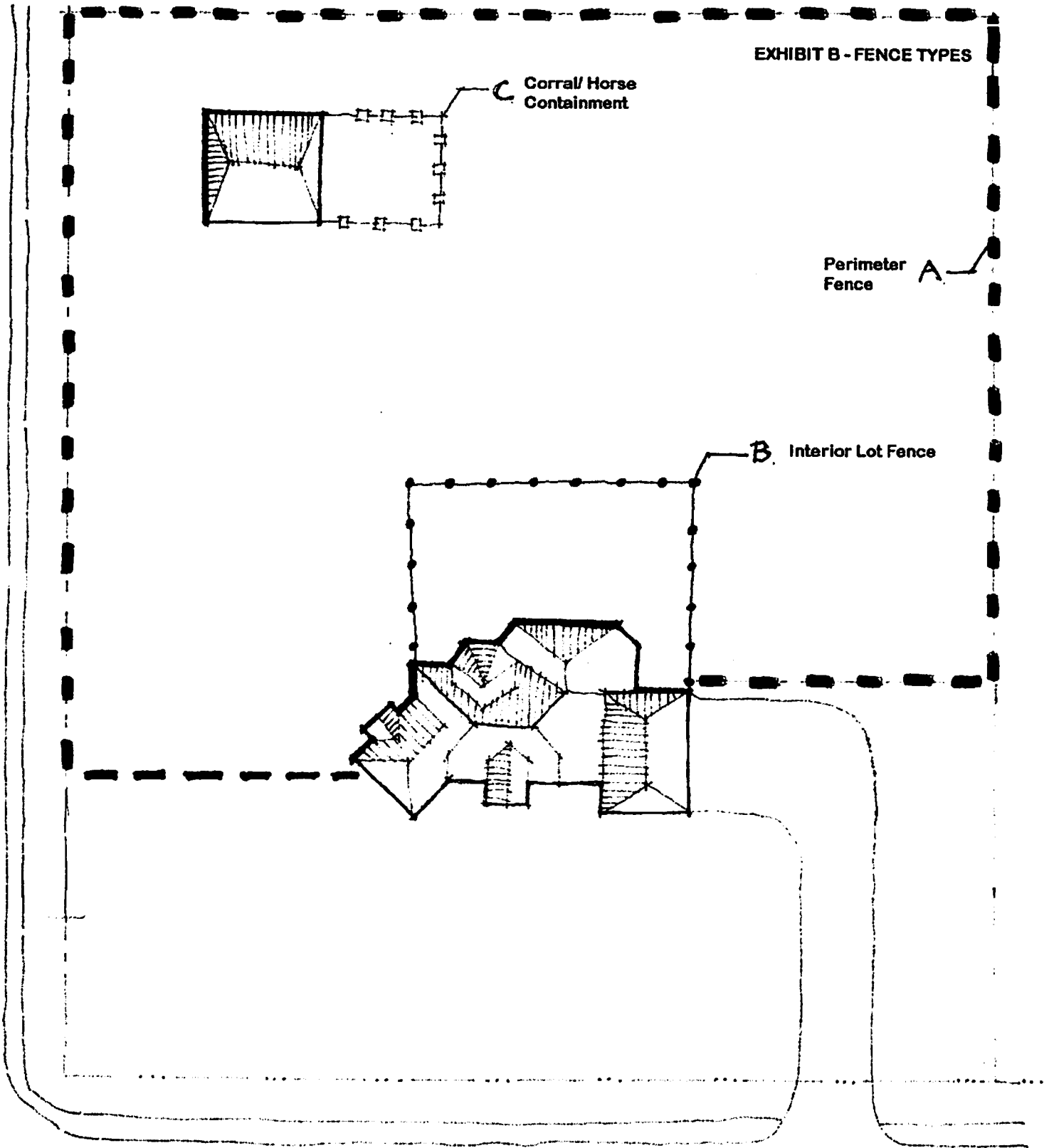


EXHIBIT B - FENCE TYPES

C Corral/ Horse
Containment

A Perimeter
Fence

B Interior Lot Fence

Exhibit B1
Spruce Meadows Design Guidelines
Perimeter Fence Specifications

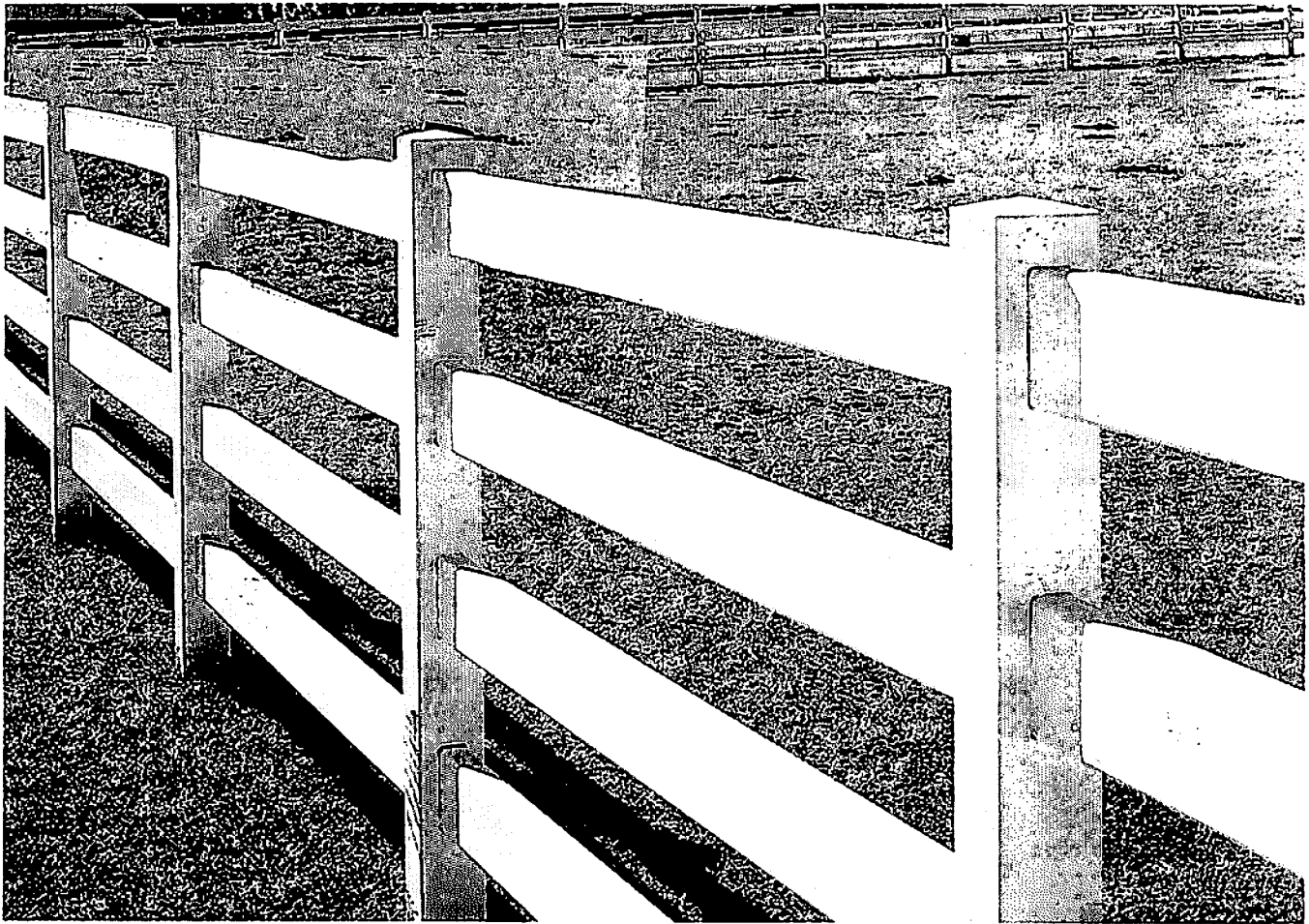
Type of Fence:	Vinyl Open 3 Rail
Height:	54 Inches Above Ground
Rail Number:	Three
Rail Size:	1 ½" X 5 ½"
Rail Strength:	Ribbed PVC – No Hollow Rails
Post Size:	5" X 5"
Post Cap:	Flat rising to Pyramid
Post Distance:	8 feet
Post In Ground:	At least 30" in Cement
Rail Distance from Ground:	Approximately 14" from ground to bottom of first rail
Distance between rails:	10 ½" to 10 ¾"
Gates:	To match open 3 rail
Material:	Vinyl/ PVC
Color:	White
Possible Manufacturers:	Community Fencing Manufacturer is Bufftech; Additional Manufacturer's that can meet specifications include Legend by Master Halco

*When Perimeter Fencing is used for horse containment, it is recommended to use electrical fence in addition to vinyl fence for additional containment security.

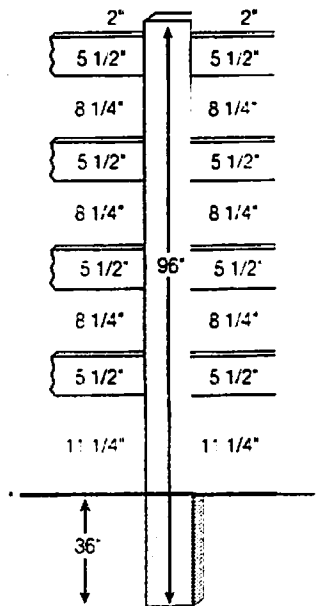
Exhibit B1

Rear Lot Boundary Perimeter Fence Guidelines for Lots 20 through 27

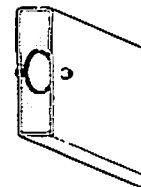
Optional Perimeter Fence for boundary adjacent to Broomfield Master Trail for Lots 1&2 Replat D, Lots 31 & 61 only



Type of Fence:	Vinyl Open 4 Rail
Height:	60 Inches above ground (plus cap)
Rail Number:	Four (4)
Rail Size:	1 1/2" x 5 1/2"
Rail Strength:	Ribbed PVC- No Hollow Rails
Rail Type:	Smooth
Post Size:	5" x 5"
Post Cap:	Flat rising to Pyramid
Post Height Size:	96"
Post Distance:	8 feet
Post in Ground:	At least 36" in cement
Rail Distance from Ground:	11 1/4"
Distance between Rails:	8 1/4"
Gates:	To match open 4 rail (unless otherwise approved by DRC)
Material:	Vinyl / PVC
Color:	White
Manufacturers:	Community fencing is Bufftech by Certainteed



*When perimeter fencing is used for horse containment, it is recommended To use electrical fence in addition to the vinyl fence for additional containment Security. See Design Guidelines for electrical fence setback requirement.

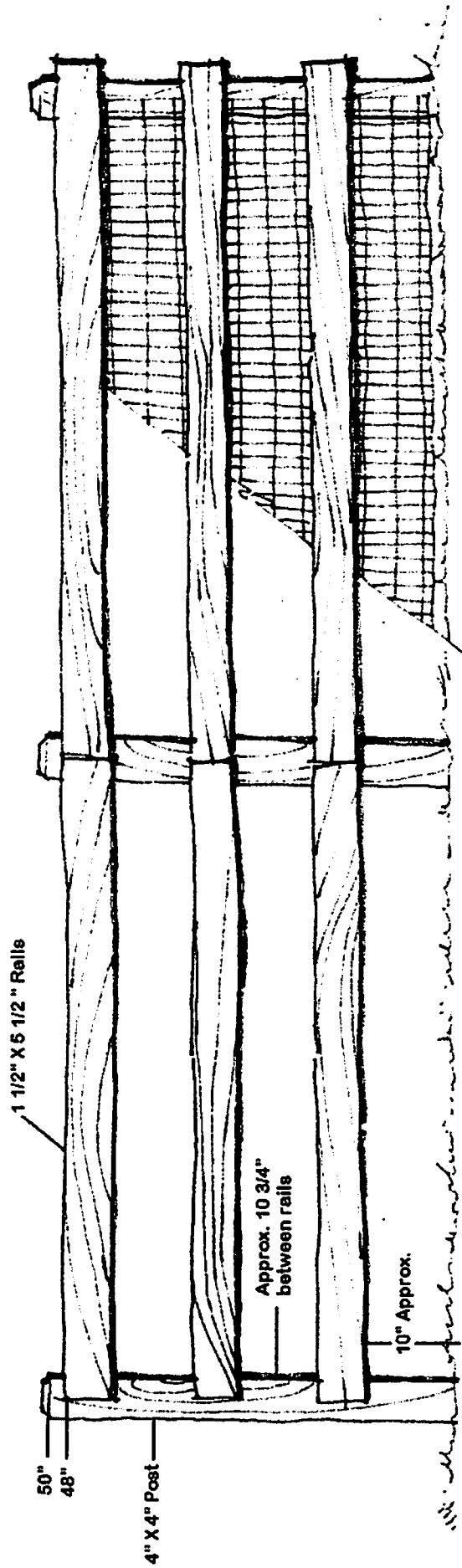


The lock ring secures the rail inside the post

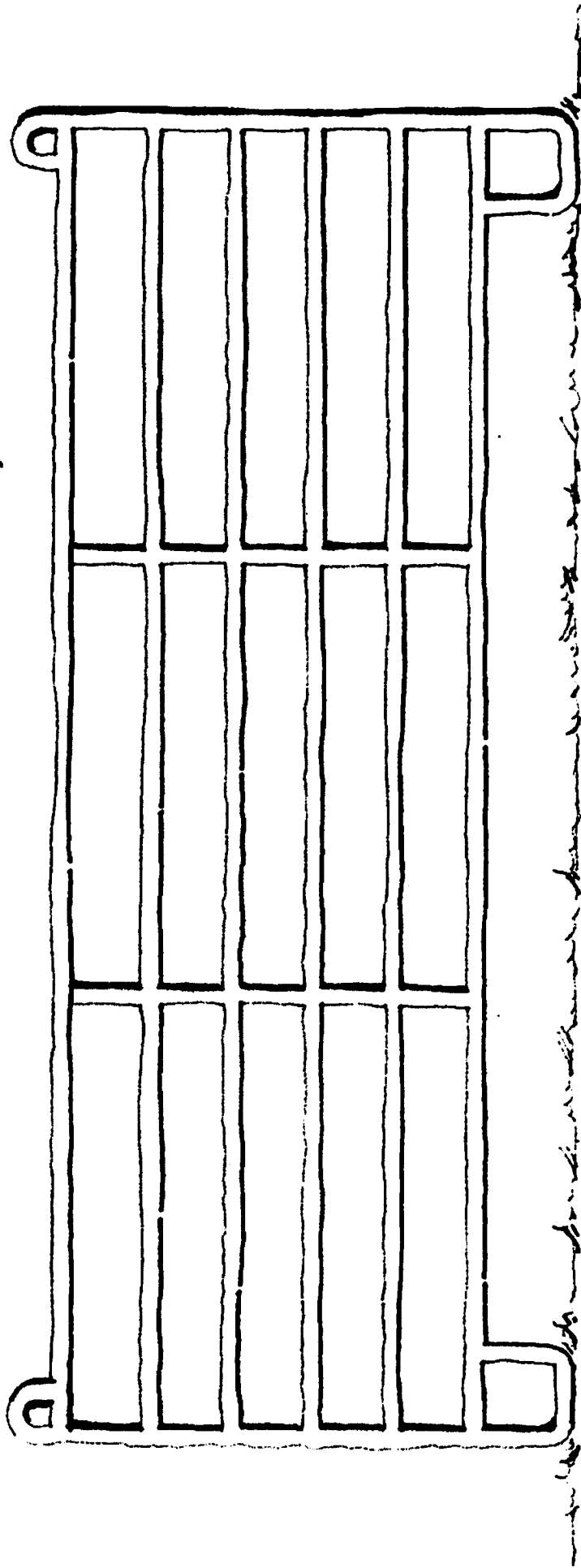
Exhibit B2
Spruce Meadows Design Guidelines
Interior Lot Fence Specifications

Type of Fence:	Vinyl or Wood Open 3 Rail
Height:	50 Inches Above Ground
Rail Number:	Three
Rail Size:	1 ½" X 5 ½"
Rail Strength:	Ribbed PVC – No Hollow Rails
Post Size:	5" X 5" for Vinyl or 4" X 4" for Wood
Post Cap:	Flat Rising to Pyramid
Post Distance:	8 feet
Post In Ground:	At least 30" in Cement
Distance from Ground to Rail:	Approximately 10" from ground to bottom of first rail
Distance between Rails:	10 ½" to 10 ¾"
Gates:	To match open 3 rail
Material:	Vinyl/ PVC
Color:	White Vinyl or Wood Stained to Compliment Home
Possible Manufacturers:	Community Vinyl Fencing Manufacturer is Bufftech; Additional Vinyl Manufacturer's that can meet specifications include Legend by Master Halco
Wire Mesh	2" X 4" Welded Wire Mesh may be attached to inside of fence to contain pets, children, etc. Wire mesh is 48" tall to fit the top rail.

EXHIBIT B2 - INTERIOR LOT FENCE
White Vinyl or Stained Wood Post Height
at 50"
Shown with 2" X 4" Wire Mesh



**EXHIBIT B3 - CORRAL/ HORSE
CONTAINMENT
Priefert Style Panels**



POST CAP STYLE

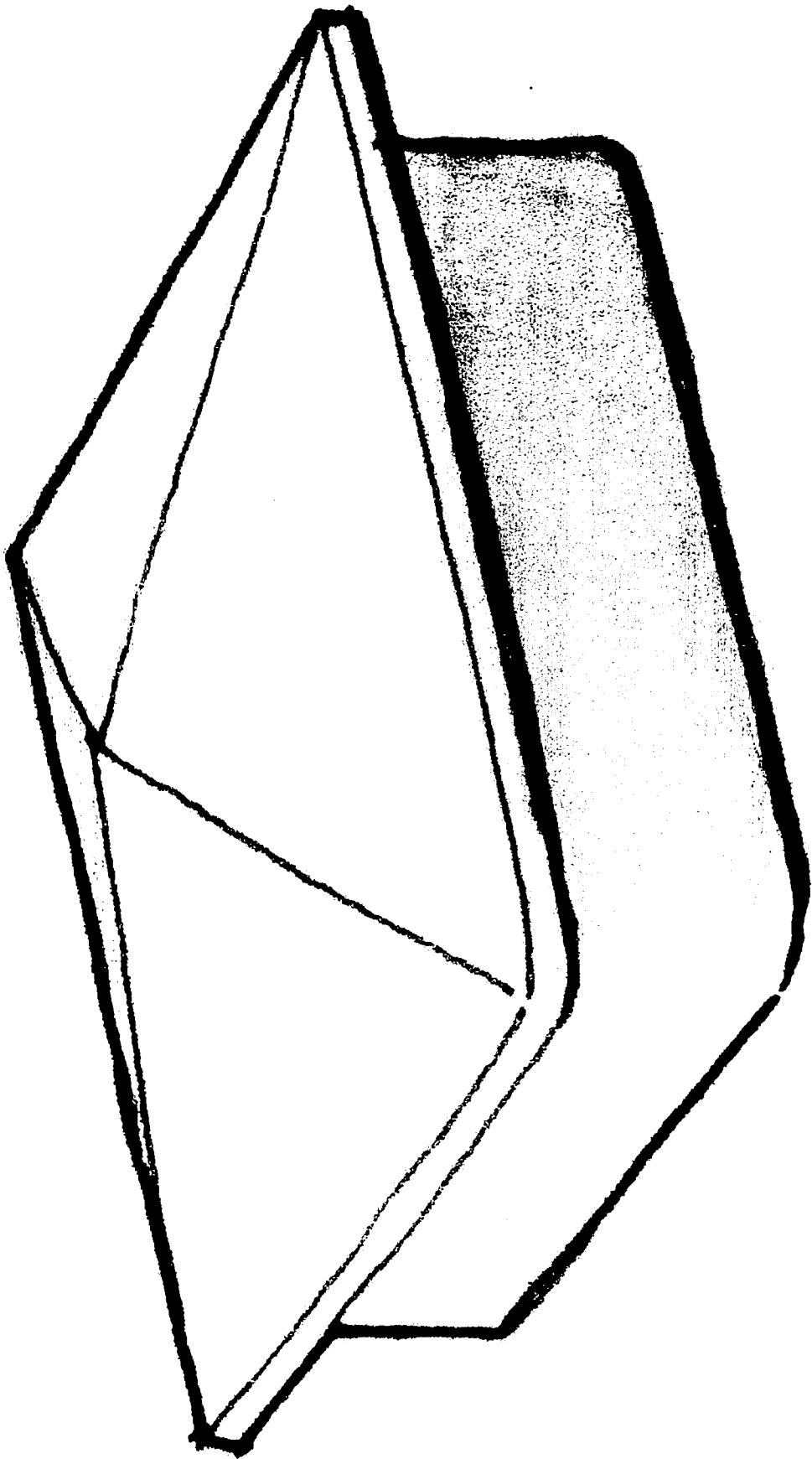
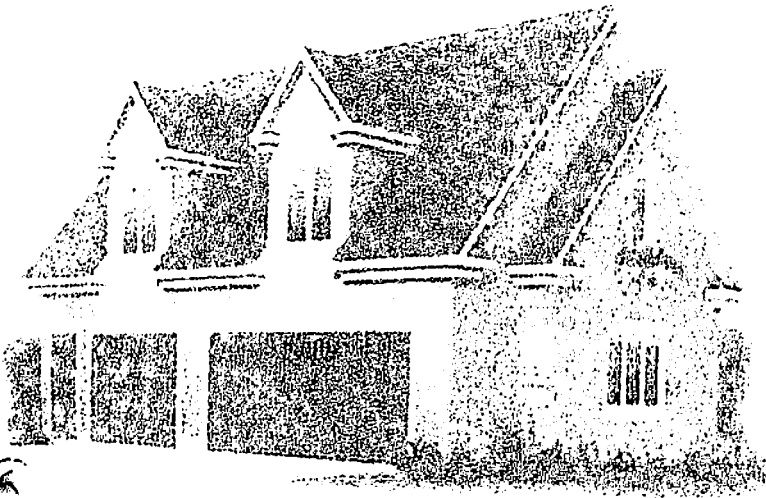


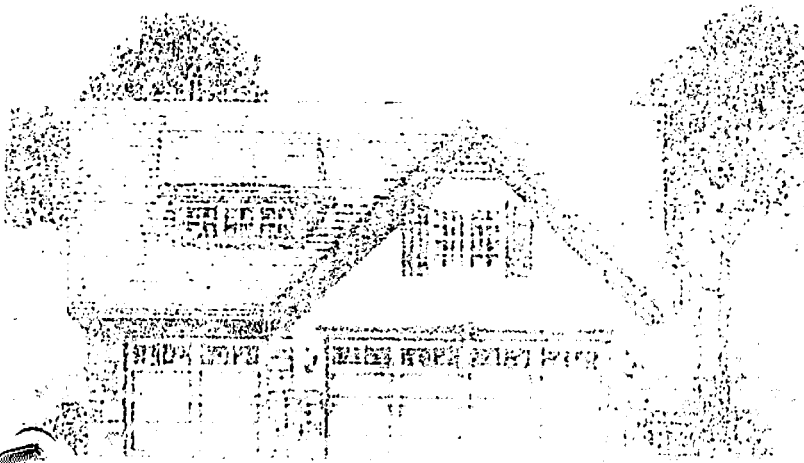
Exhibit C 1 - Accessory Buildings

Example 1 - Detached Garage with workspace above



- Stone and Stucco Exterior
- Break in Plane where visible to street
- Windows at visible plane
- Roof elements to match elements of home
- Garage doors with architectural details
- Garage doors not facing street
- Soffit lighting
- Roof to be tile or other approved
- Plumbing to be accommodated in septic system and leachfield

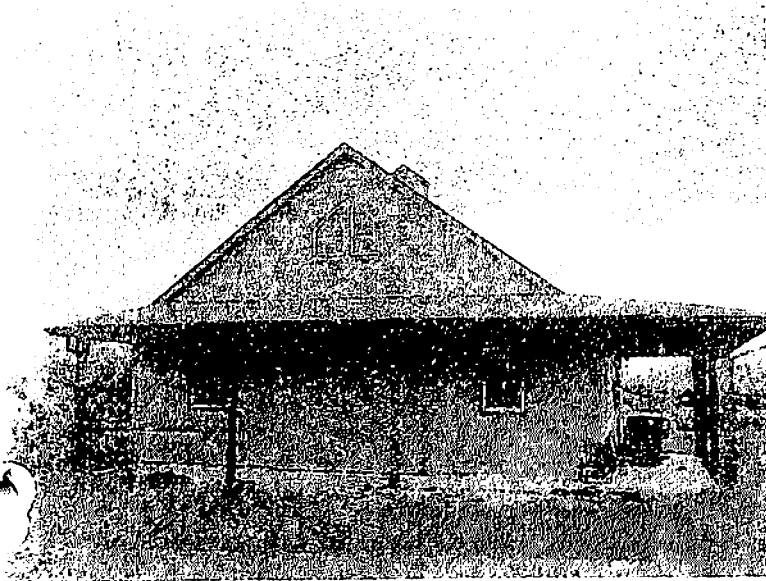
Example 2 - Detached Garage with workspace above



- Hardboard and brick exterior
- Break in roof plane
- Style to be compatible with residence
- Separation between garage doors
- Coach lighting
- Stair access and garage doors minimized from view

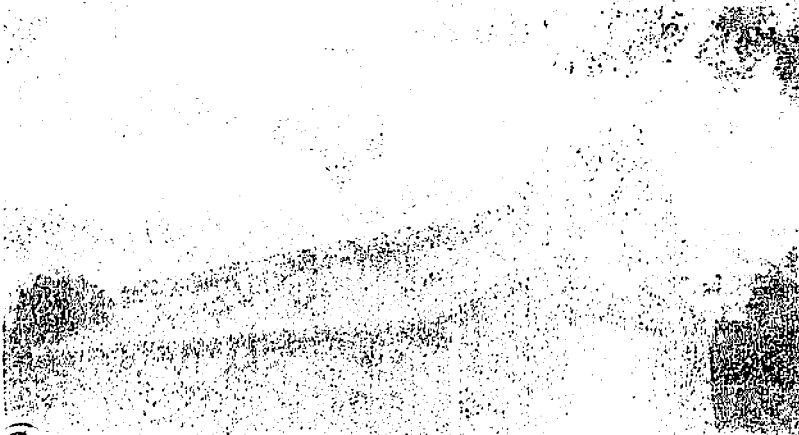
Exhibit C.2 Accessory Buildings - Barns

Example 1 - Working Barn with hay storage above



- All wood exterior acceptable
- Cupola on roof allowed
- Front view shown
- Sliding access doors to rear (not shown)
- Exterior stall doors on side (not shown)
- Style common for barns
- Colors compatible with residence and environment
- Roof to be metal or other approved. No asphalt
- Plumbing to be accommodated in septic system and leach field

Example 2 - Working Barn with workspace above



- All wood exterior acceptable
- Break in roof plane with cupola
- Style common for barn designs
- Colors compatible with residence and environment
- Roof to be metal or other approved. No asphalt
- Plumbing to be accommodated in septic system and leach field